This addendum forms a part of the Contract Documents and modifies the original Documents dated **November 30, 2022** as noted below. Acknowledge receipt of this addendum in the space provided on the Official Bid Form. Failure to do so may subject the Bidder to disqualification.

AS-BUILT DRAWINGS ENCLOSED

- Evergreen Elementary School

PRE-PROPOSAL MEETING SIGN IN SHEET

Please review the attached sign in sheet; if corrections are required please send them to kristi.nelson@hmkco.org

END OF ADDENDUM 1

THREE RIVERS SCHOOL DISTRICT
SEISMIC REHABILITATION PROJECT
EVERGREEN ELEMENTARY SCHOOL
PRE-PROPOSAL CONFERENCE SIGN IN
DECEMBER 8, 2022

Company: ZCS Engineering & Architecture Contact: Rikki Williamson

Address: 45 Hawthorne Street, Medford OR 97504

Email: rikkiw@zcsea.com

Phone: 541.500.8588 Cell: 615.315.1636

Company: _____ Contact: _____

Address: _____

Email: _____

Phone: _____ Cell: _____

Company: _____ Contact: _____

Address: _____

Email: _____

Phone: _____ Cell: _____

Company: _____ Contact: _____

Address: _____

Email: _____

Phone: _____ Cell: _____

Company: _____ Contact: _____

Address: _____

Email: _____

Phone: _____ Cell: _____

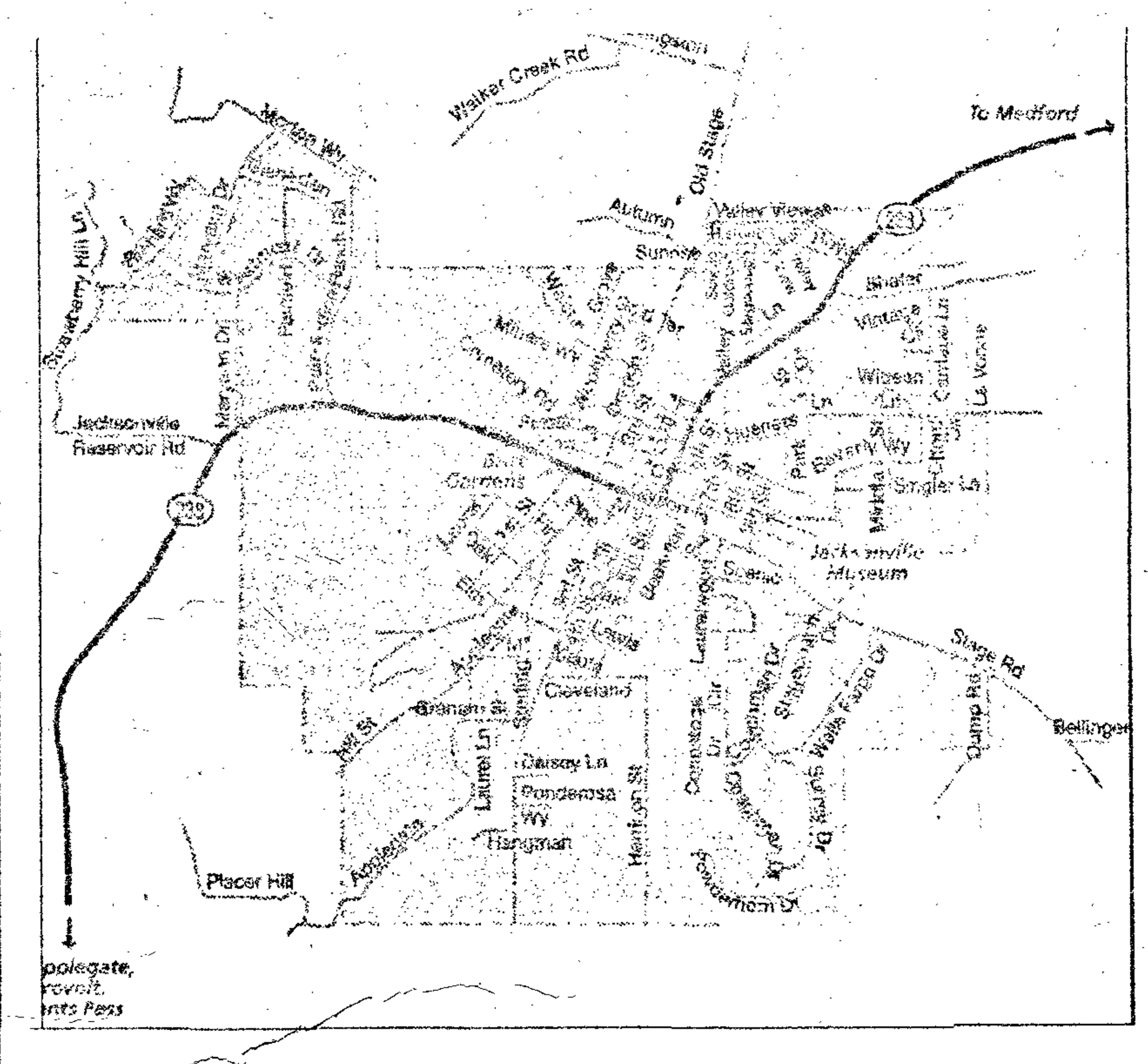
Company: _____ Contact: _____

Address: _____

Email: _____

Phone: _____ Cell: _____

The District will only accept Proposals from those firms who signed in at the Mandatory Pre-Proposal Conference. The District will not accept responses where an attendee subrogates their attendance to a firm not in attendance.

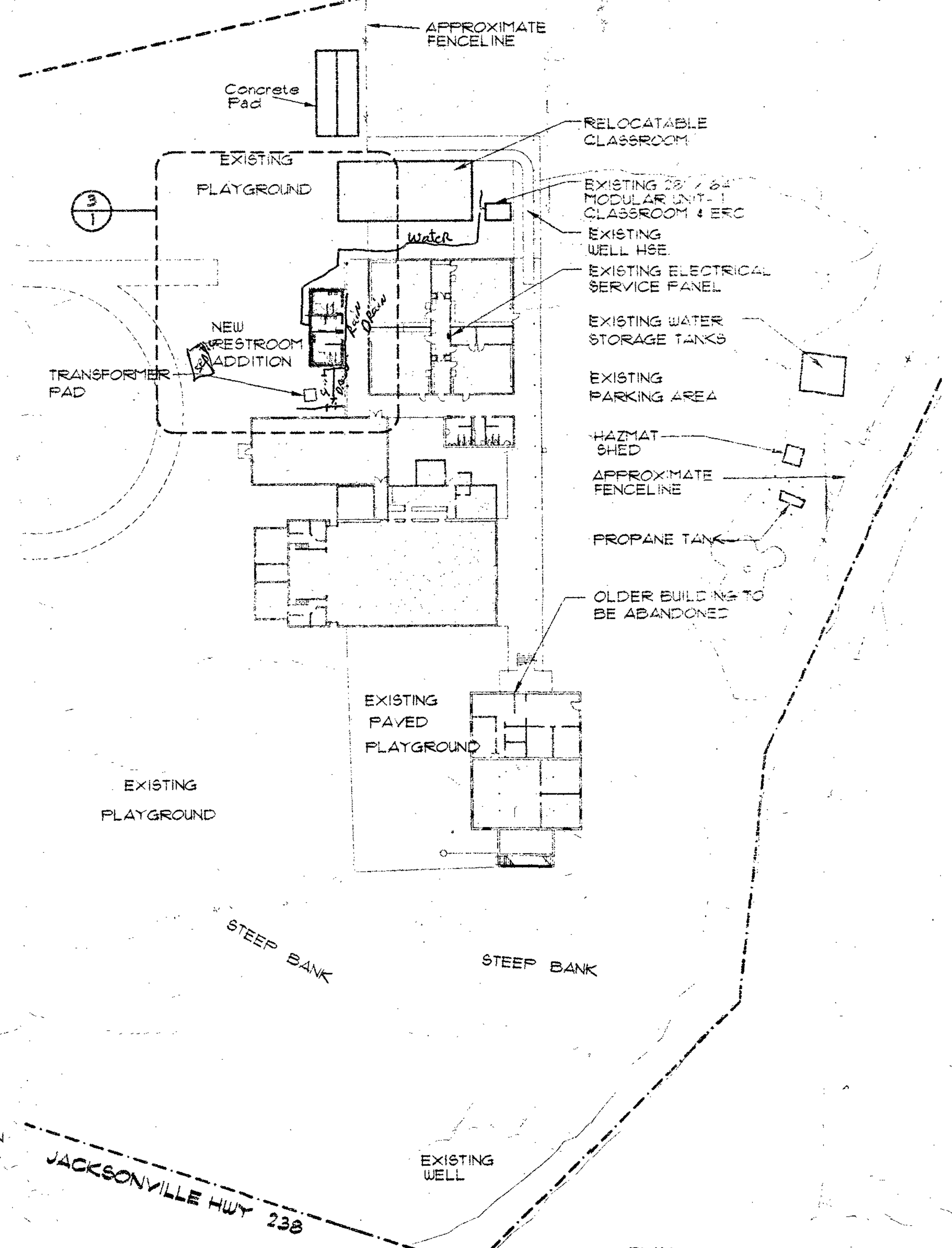


2 VICINITY MAP

SCALE: N.T.S.

SITE NOTES:

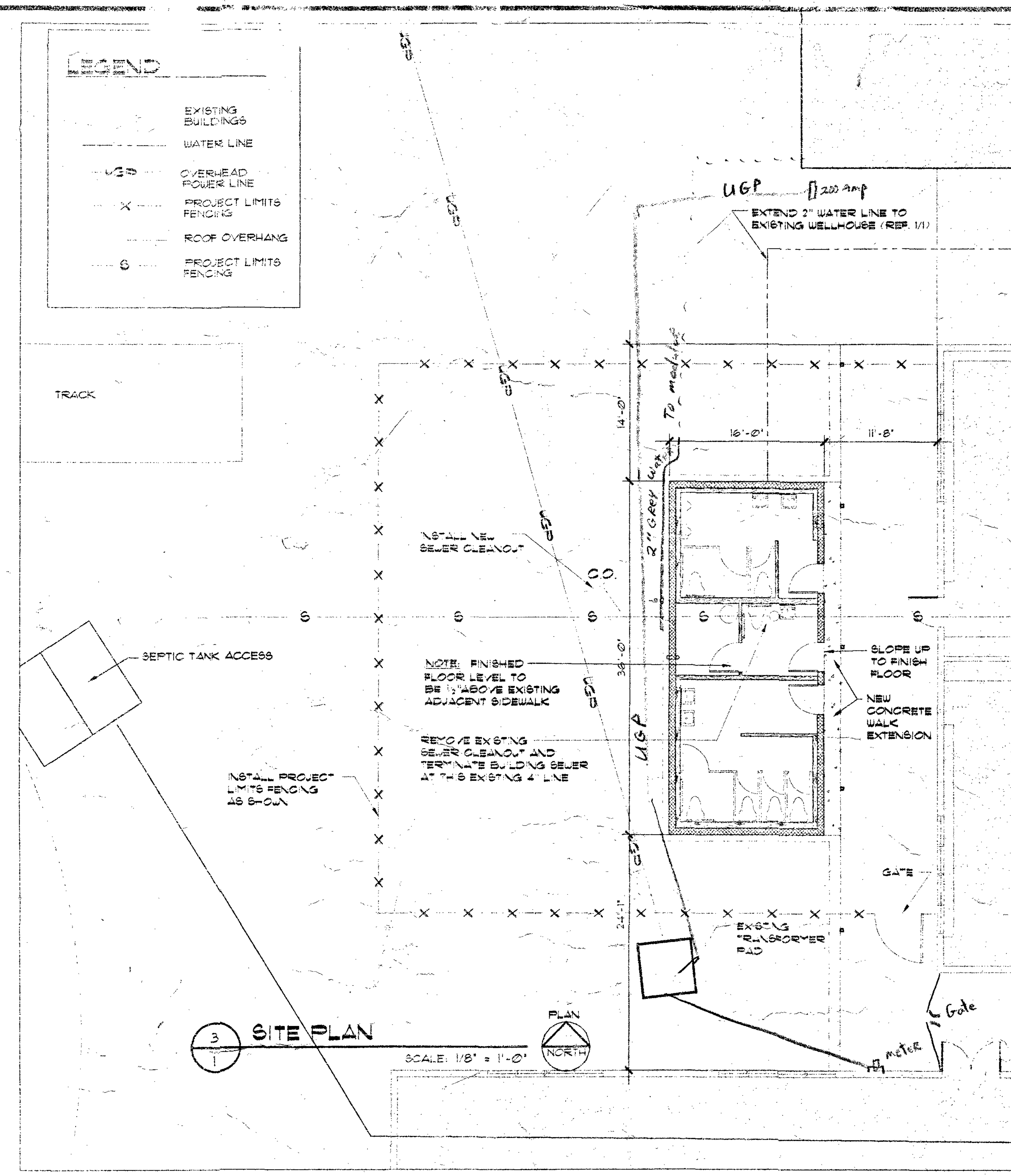
1. EXISTING SYSTEMS TO REMAIN UNCHANGED AND OPERATIONAL
2. NEW RESTROOM BUILDING TO BE CONNECTED TO EXISTING WATER SUPPLY, WASTE AND ELECTRICAL SYSTEMS. NO ADDITIONAL TANKS OR DRAIN FIELDS TO BE INSTALLED.
3. EVERY REASONABLE EFFORT HAS BEEN MADE TO LOCATE THE EXISTING UTILITIES ON THE PLAN BASED ON AVAILABLE INFORMATION AND SURFACE EVIDENCE. HOWEVER NO GUARANTEE IS MADE AS TO THE COMPLETENESS OR ACCURACY OF THESE LOCATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE THESE AND OTHER EXISTING UTILITIES AND STRUCTURES IN THE FIELD BEFORE CONSTRUCTION. IF LOCATIONS DIFFER FROM THOSE SHOWN, A CHANGE ORDER WILL BE PREPARED IF A CHANGE IN COST RESULTS.
4. CONTRACTOR SHALL RESTORE SITE TO CONDITION SAME OR BETTER THAN PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
5. ALL DEBRIS & EXCAVATED MATERIAL SHALL BE REMOVED AND DISTURBED AREAS DRESSED AND FINISHED TO MATCH EXISTING.
7. PROPERTY LINES ARE REPRESENTATIONAL ONLY (PER FILED SURVEYS 313 & 3303 ON FILE IN THE JACKSON CO. SURVEYOR'S OFFICE.) NO PROPERTY SURVEY WAS ORDERED.



1 SCHOOL CAMPUS PLAN

SCALE: 1" = 50'-0"

PLAN NORTH



3 SITE PLAN

SCALE: 1/8" = 1'-0"

PLAN NORTH

GENERAL NOTES:

1. COMPLY WITH CURRENT EDITIONS OF THE U.B.C., U.M.C., U.P.C. U.F.C. AND ALL LOCAL HEALTH AND SAFETY CODES.
2. WHEN A DETAIL IS IDENTIFIED AS TYPICAL, THE CONTRACTOR IS TO APPLY THIS DETAIL IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE.
3. ALL PLAN DIMENSIONS ARE TO FACE OF CONCRETE BLOCK OR CENTER LINE OF INTERIOR PARTITIONS UNLESS NOTED OTHERWISE.
4. ALL DRAWINGS, THOUGH NOTED TO SCALE, ARE FOR ILLUSTRATION ONLY. THE CONTRACTOR SHALL NOT SCALE DRAWINGS.
5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
6. MAXIMUM EFFORT TO OPEN DOORS WILL NOT EXCEED 8 1/2 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS EXCEPT WHERE FIRE DOORS ARE REQUIRED.
7. EXIT DOORS SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL EFFORT OR KNOWLEDGE PER C.A.C. AND THE CURRENT EDITION OF THE U.B.C.

GENERAL PROJECT INFORMATION

- OCCUPANCY GROUPS: E-2
- TYPE OF CONSTRUCTION: TYPE V - NON-RATED
- SQUARE FOOTAGE
  NEW RESTRROMS: 576 SQ. FT.
- THE RESTROOM FACILITY IS TO REPLACE RESTROOMS THAT WILL BE LOST WHEN THE OLDER PORTION OF THE APPLEGATE SCHOOL IS ABANDONED.
- ROOF DRAINS:
  AREA OF ROOF TO BE DRAINED: 5?3 SQ FT.
  A 3" Φ INTERIOR ROOF DRAIN WITH OVERFLOW HAS BEEN PROVIDED.
- ATTIC VENTS:
  600 S.F. / 150 = 4 SF = 576 SQ IN OF VENT AREA REQUIRED. EACH 1 FOOT SECTION OF PLASTIC SOFFIT VENT PROVIDES 15 SQ. IN. OF FREE AREA THUS 576 / 15 = 38.4' OF CONTINUOUS SOFFIT VENT IS REQUIRED. 48' IS PROVIDED.

ATTENTION: Oregon law requires you to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0010 through OAR 952-001-0090. You may obtain copies of the rules by calling the center at (503) 232-1987.

NOTE: THIS PLAN CHECK DOES NOT INCLUDE ELECTRICAL, PLUMBING AND STORM DRAINS.

660-4022 Ralph

PROJECT DIRECTORY

OWNER
THREE RIVERS SCHOOL DISTRICT
8550 NEW HOPE ROAD
GRANTS PASS, OR 97527
CONTACT: KATHY KROUSE
DIRECTOR FISCAL AND SUPPORT SERVICES
541-476-6304

ARCHITECT
CROW/CLAY & ASSOCIATES INC.
125 W. CENTRAL, SUITE 400
COOS BAY, OR 97420
541-269-9388

ON SITE SUPPORT
LLOYD RUSSELL
DIRECTOR OF MAINTENANCE
126 RINGUETTE ST.
GRANTS PASS, OR 97527
541-476-6304

DRAWING INDEX

RECEIVED NOV 2000 CROW/CLAY COOS BAY

Rec'd 11/1/00

CROW/CLAY & ASSOCIATES INC.
ARCHITECTURE AND PLANNING
LAND USE AND INTERIORS
125 WEST CENTRAL AVENUE
SUITE 400
COOS BAY, OR 97420
TEL: 541-269-9388
FAX: 541-267-6187
■ PORTLAND, OR ■ COOS BAY, OR ■ EUREKA, CA

REGISTERED ARCHITECT STEVEN L. CLAY COOS BAY, OREGON 1635 STATE OF OREGON

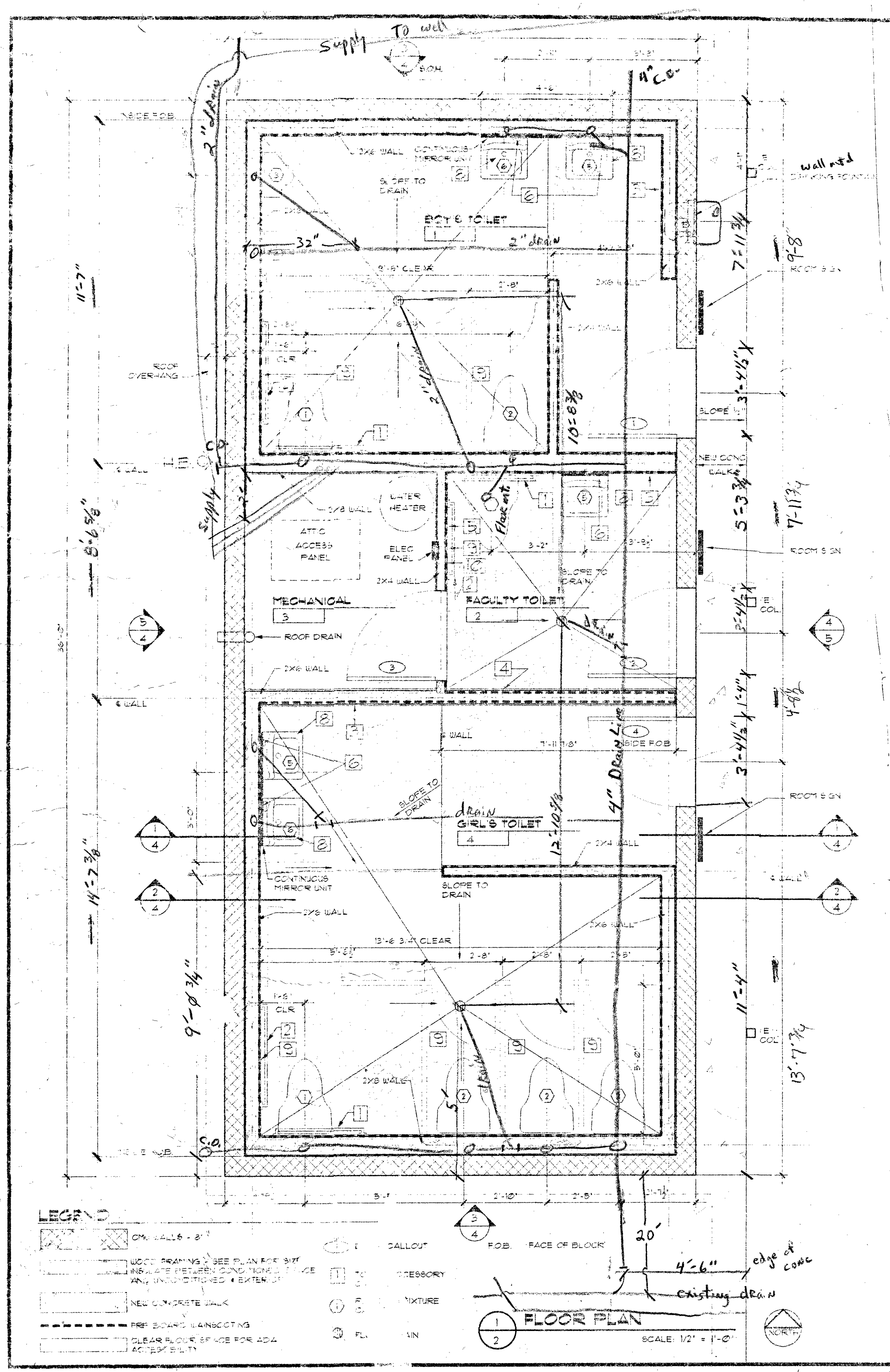
APPLEGATE RESTROOM BUILDING
THREE RIVERS SCHOOL DISTRICT
14188 HIGHWAY 238
JACKSONVILLE OREGON

SITE PLAN

DATE: JULY 2000

SHEET: 1

AS-BUILT DRAWINGS



DOOR SCHEDULE

MARK	WIDTH	HGHT	THICK				FRAME DETAILS HEAD	JAMB	SILL	FIRE RATE	REMARKS
1	3^{0}	6^{8}	1^{3}/4"	4	[illegible] METAL		5/6	5/6	6/6		
2	3^{0}	6^{8}					5/6	5/6	6/6		
3	3^{0}	6^{8}					5/6	5/6	6/6		
4	3^{0}	6^{8}					5/6	5/6	6/6		

NOTE: CONTRACTOR TO FIELD VERIFY ALL THICKNESS

DOOR SCHEDULE LEGEND

INSUL — INSULATED
METAL — HOLLOW METAL DOOR AND/OR FRAME
K.D. — STEEL KNOCKDOWN FRAMES

FINISH SCHEDULE LEGEND

A.C.T. = ACOUSTICAL CEILING TILE
C.M.U. = CONCRETE MASONRY UNITS
CONC. = CONCRETE
S.G.E. = SEMI-GLOSS ENAMEL
FACT = FACTORY FINISH
FRP = FIBER REINFORCED PANEL
GYP BD. = GYPSUM BOARD
RBR = RUBBER BASE

DOOR TYPE 'A'

ROOM FINISH SCHEDULE

NO	ROOM NAME	FLOOR MAT.	FLOOR FIN.	FLOOR BASE	WALLS NORTH MAT.	NORTH FIN.	EAST MAT.	EAST FIN.	SOUTH MAT.	SOUTH FIN.	WEST MAT.	WEST FIN.	CEILING MAT.	CEILING FIN.	CEILING HEIGHT	REMARKS
1	BOY'S TOILET	CONC	SEALER	FRP (1) RBR	GYP. BD	S.G.E.	GYP. BD. CMU	S.G.E SEALER	GYP. BD	S.G.E.	GYP. BD	S.G.E.	GYP. BD	PAINT	8'-0"	
2	FACULTY TOILET	CONC.	SEALER	FRP (1) RBR	GYP BD	S.G.E.	CMU	S.G.E. SEALER	GYP. BD	S.G.E.	GYP.BD	S.G.E.	GYP. BD	PAINT	8'-0"	
3	MECHANICAL	CONC.	SEALER	RBR	GYP.BD	S.G.E.	GYP.BD	S.G.E.	GYP.BD	S.G.E.	CMU	SEALER	GYP.BD.	PAINT	8'-0"	
4	GIRL'S TOILET	CONC	SEALER	FRP (1) RBR	GYP. BD	S.G.E.	GYP. BD. CMU	S.G.E. SEALER	GYP. BD	S.G.E.	GYP. BD	S.G.E.	GYP BD	PAINT	8'-0"	

(1) 48" WAINSCOTT OF FRP BOARD TO OCCUR AT WOOD FRAMED WALLS. BLOCK WALLS TO HAVE 6" RUBBER BASE.

PLUMBING FIXTURE SCHEDULE

SEE DETAIL 5/5 FOR MOUNTING HEIGHTS.

MARK	FIXTURE	MANUFACTURER	MODEL NUMBER	DESCRIPTION & REMARKS
1	ADA TOILET	KOHLER See	STRATTON K-4450-C	FLUSH VALVE: SLOAN, ROYAL 111 SEAT: K-4670-C COLOR: WHITE
2	TOILET	KOHLER Submittals	STRATTON K-4450-C	FLUSH VALVE: SLOAN, ROYAL 111 SEAT: K-4670-C COLOR: WHITE
3	ADA URINAL	KOHLER	STANWELL K-4972-T	FLUSH VALVE: SLOAN 980-1 COLOR: WHITE
4	URINAL	KOHLER	STANWELL K-4972-T	FLUSH VALVE: SLOAN 980-1 COLOR: WHITE
5	ADA WALL HUNG SINK	KOHLER	JAMESTOWN K-2504	FAUCET: K-7404-K WRISTBLADE LEVER HANDLES K-13885 OFFSET DRAIN. K-7605-P ANGLE SUPPORTS PLUMBEREX UNSULATED JACKET ON P-TRAP
6	WALL HUNG SINK	KOHLER	JAMESTOWN K-2504	FAUCET: K-7404-K WRISTBLADE LEVER HANDLES K-13885 OFFSET DRAIN. K-7605-P ANGLE SUPPORTS PLUMBEREX UNSULATED JACKET ON P-TRAP
7	DRINKING FOUNTAIN	ELKAY	EDFB-12-FPC	S.S. FROST RESISTANT. RECESSED INTO CMU WALL PROVIDE MOUNTING HANGER AND SCREWS FOR CMU WALL. MOUNT AT H.C. ACCESSIBLE HEIGHT [illegible] TO SPIGOT. PROVIDE WITH PIPE HEATING TAPE.

NOTE: PROVIDE ALL ACCESSORIES FOR COMPLETE ASSEMBLIES I.E. DRAINS SUPPLY, TRAPS, ETC.

TOILET ACCESSORIES SCHEDULE

SEE DETAIL 5/5 FOR MOUNTING HEIGHTS.

MARK	ACCESSORIE	MANUFACTURER	MODEL NUMBER	DESCRIPTION & REMARKS
1	GRAB BAR - 42"	BOBRICK	B-5507.99X42	
2	GRAB BAR - 36"		B-5507.99X36	
3	PAPER TOWEL WASTE		B-3944	RECESSED
4	SANITARY NAPKIN DISPENSER		B-43500	RECESSED TOP @ 52"
5	SEAT COVER DISPENSER		B-221	SURFACE MOUNT
6	SOAP DISPENSER		B-2112	SURFACE MOUNT
	NOT USED	--	--	
8	PIPING INSULATION	BROCAR	'TRAP WRAP'	VINYL PLASTISOL, 1/8" THICK. SUBMIT COLOR SAMPLE.
9	TOILET PAPER DISPENSER	BOBRICK	B-2888	SURFACE MOUNT
10	SANITARY NAPKIN DISPOSAL	BOBRICK	B-270	SURFACE MOUNT

NOTE: PROVIDE ALL ACCESSORIES FOR COMPLETE ASSEMBLIES AND BLOCKING AS REQUIRED.

125 WEST CENTRAL AVENUE
SUITE 400
COOS BAY, OR 97420
TEL: 541-269-9388
FAX: 541-267-6137
■ EUREKA, CA

CROW/CLAY & ASSOCIATES INC.
ARCHITECTURE AND PLANNING
LAND USE AND INTERIORS
■ PORTLAND, OR ■ COOS BAY, OR

REGISTERED ARCHITECT
STEVEN L. CLAY
COOS BAY, OREGON
STATE OF OREGON

APPLEGATE RESTROOM BUILDING
THREE RIVERS SCHOOL DISTRICT
14189 HIGHWAY 238
JACKSONVILLE OREGON

FLOOR PLAN & SCHEDULES

DATE: JULY 2000

SHEET: 2

06347

1/3 FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

CJ CONTROL JOINT

CMU WALL

4" SLAB - SEE SECTION

2/3 ROOF PLAN

SCALE: 1/4" = 1'-0"

3/3 ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

1. REFER TO CEILING PLAN (5/3) FOR CEILING FRAMING.
2. CLIPS: SIMPSON A35F ONE PER JOIST AND AT PLATE.
3. ROOF SHEATHING NAILING: 8d @ 6 O.C. AT EDGES, 12" Ø.C. IN FIELD
4. PROVIDE BLOCKING AT PERIMETER AND AS REQUIRED

4/3 WALL FOOTING DETAIL

SCALE: 1" = 1'-0"

5/3 DOORWAY

SCALE: 1" = 1'-0"

6/3 SIDEWALK EDGE

SCALE: 1" = 1'-0"

7/3 HOLLOW METAL DOOR JAMB DETAIL

HEAD & SILLAR SCALE: 3" = 1'-0"

8/3 CURB DETAIL

HEAD SIMILAR SCALE: 3" = 1'-0"

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EUREKA, CA
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PORTLAND, OR

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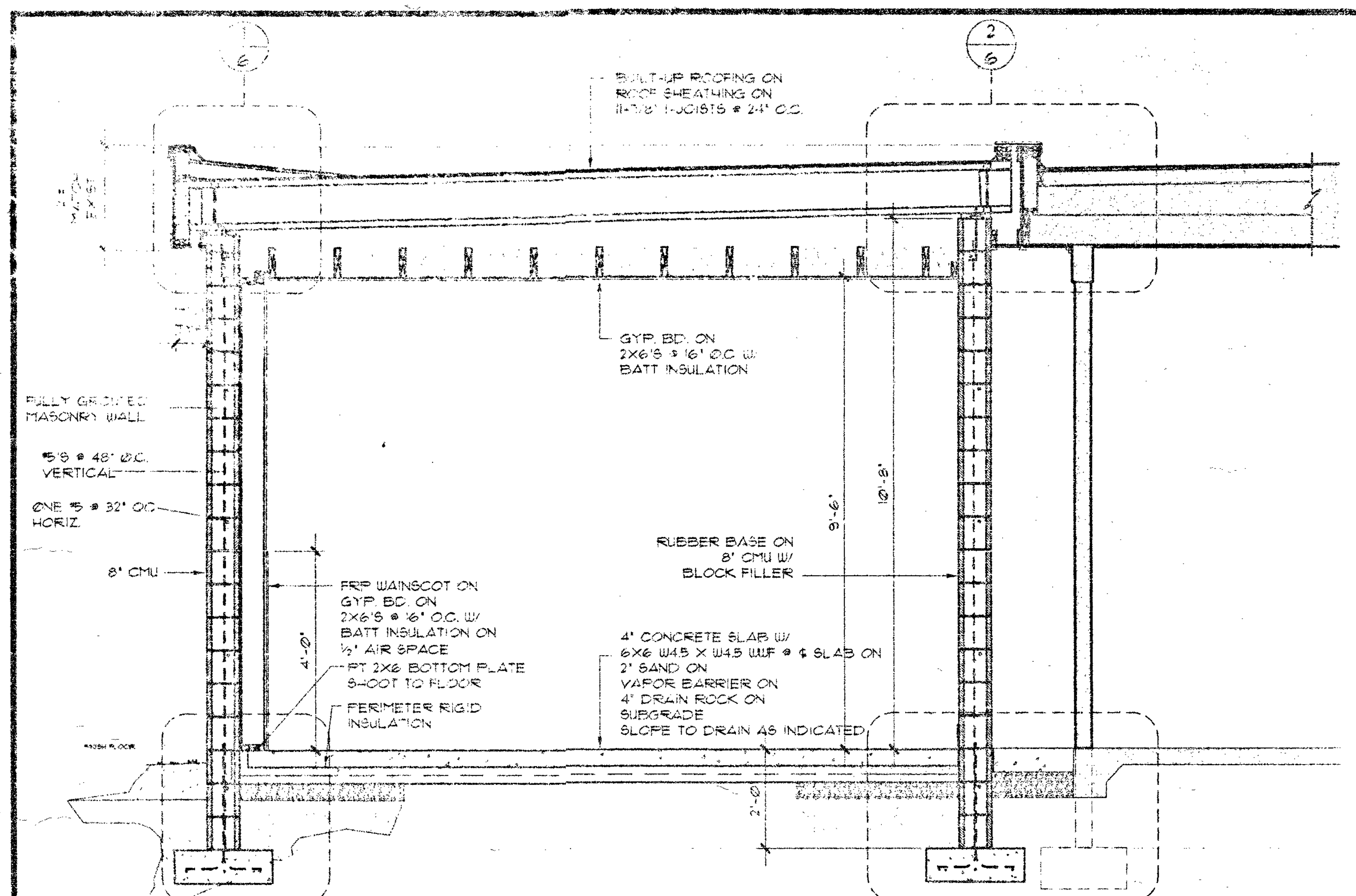
APPLEGATE RESTROOM BUILDING
THREE RIVERS SCHOOL DISTRICT
14188 HIGHWAY 238
JACKSONVILLE OREGON

FOUNDATION & ROOF FRAMING PLAN

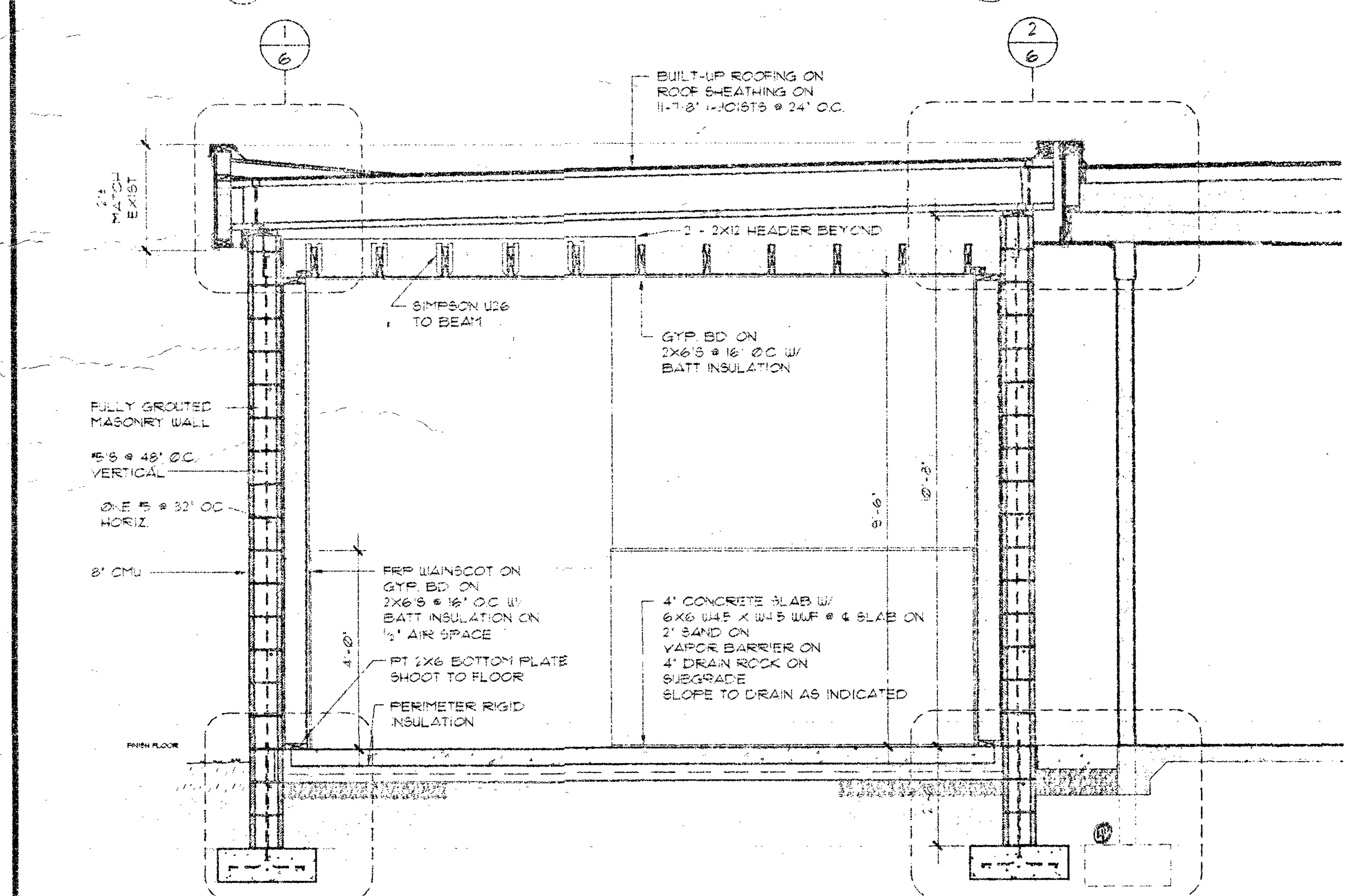
DATE: JULY 2000

SHEET: 3

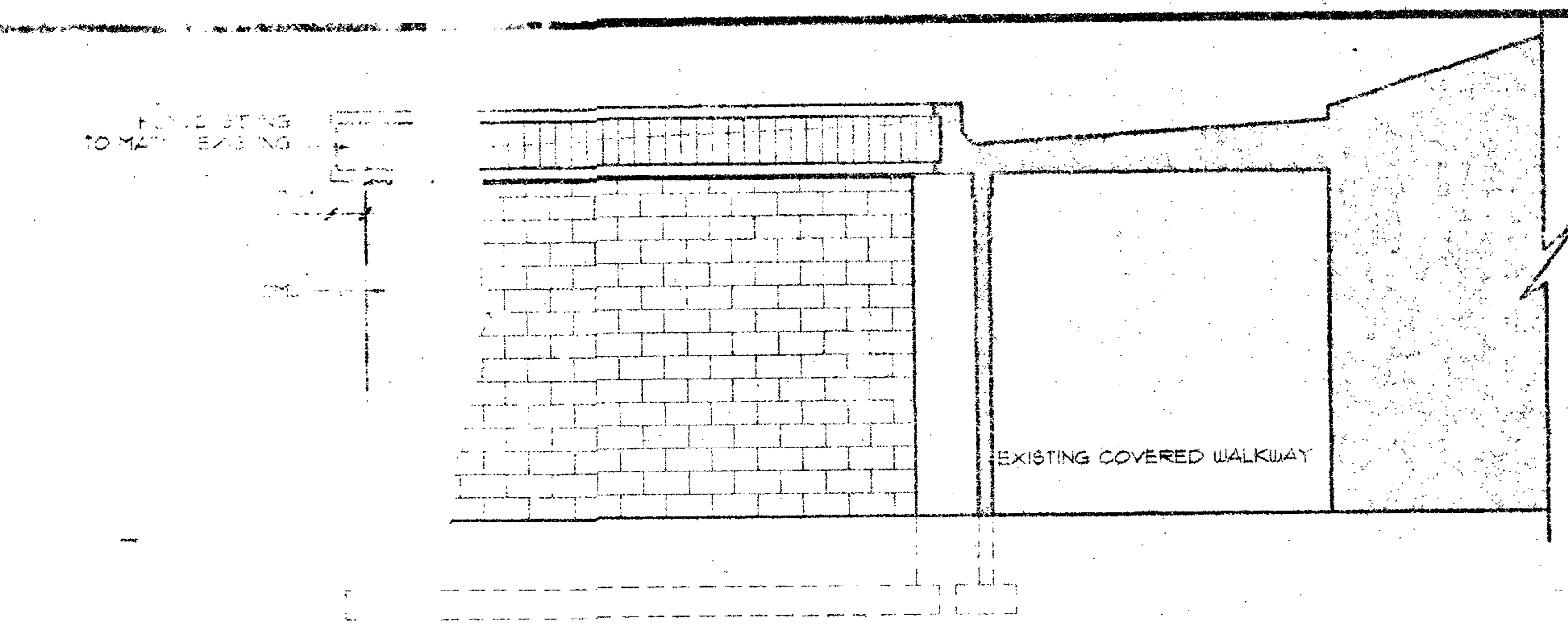
00347



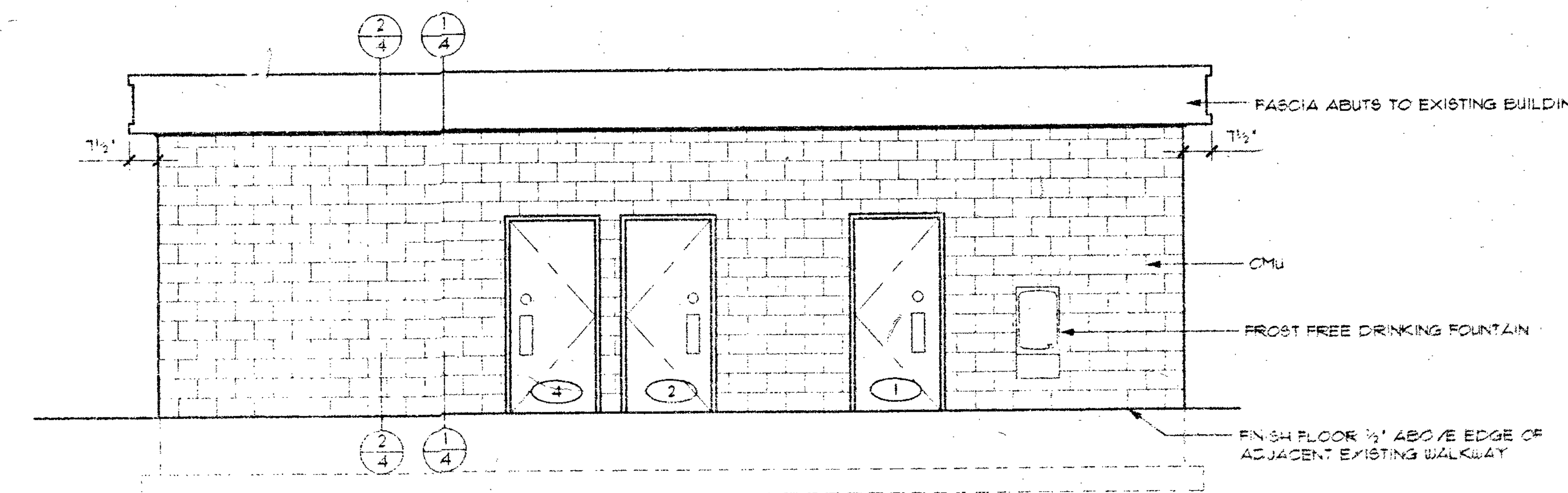
1/4 BUILDING SECTION
SCALE: 1/2" = 1'-0"



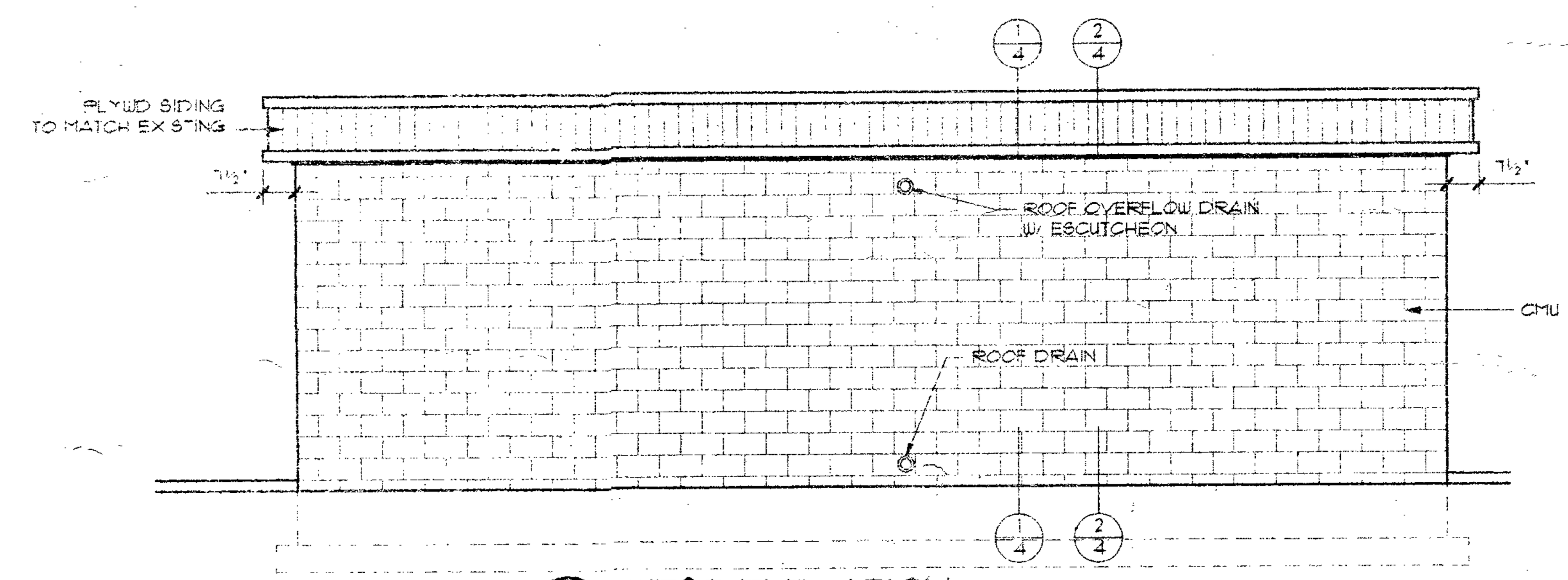
2/4 BUILDING SECTION
SCALE: 1/2" = 1'-0"



3/4 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4/4 EAST ELEVATION
SCALE: 1/4" = 1'-0"



5/4 WEST ELEVATION
SCALE: 1/4" = 1'-0"

109 Studs / Bt Plt / Top Plt / Top Plt / 5/8 Gyp / 9'-6"

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REGISTERED ARCHITECT
STEVEN L. CLAY
COOS BAY, OREGON
1636
STATE OF OREGON

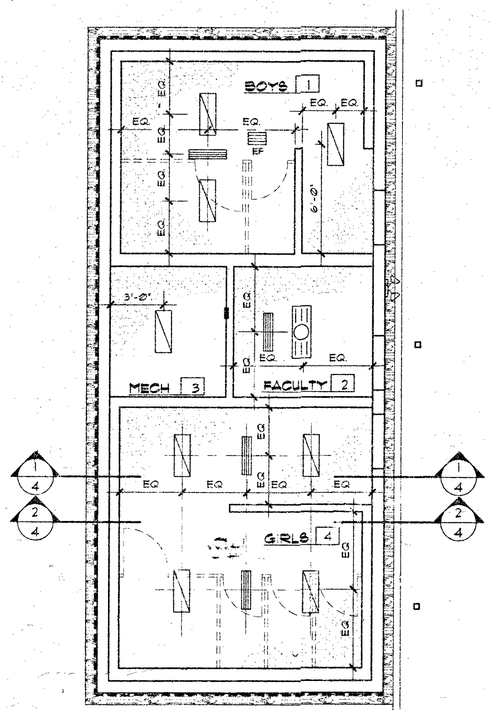
APPLEGATE RESTROOM BUILDING
THREE RIVERS SCHOOL DISTRICT
14188 HIGHWAY 238
JACKSONVILLE OREGON

SECTIONS & ELEVATIONS

DATE: JULY 2000

SHEET: 4

00347



1/5 REFLECTED CEILING PLAN

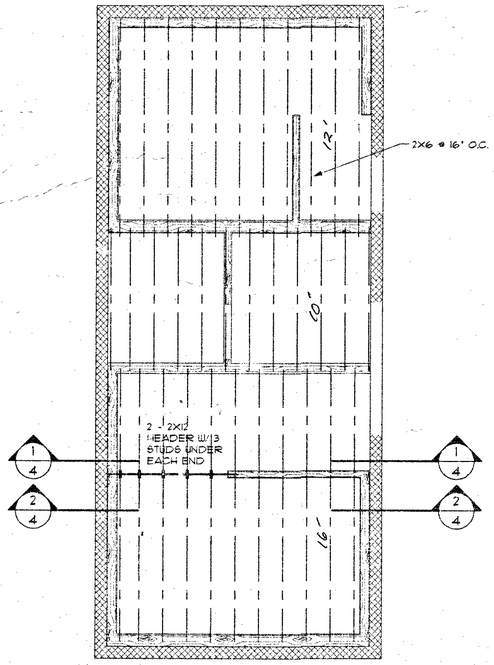
SCALE: 1/4" = 1'-0"

PLAN NORTH

GYP. BD. ON WOOD FRAMING

PLYWOOD SOFFIT

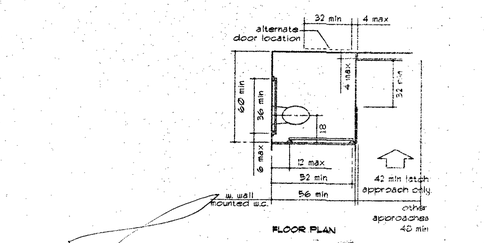
CONTINUOUS SOFFIT VENT



2/5 CEILING FRAMING PLAN

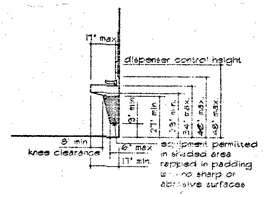
SCALE: 1/4" = 1'-0"

PLAN NORTH



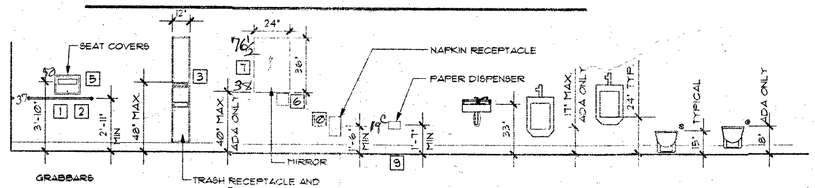
3/5 ADA TOILET STALL

SCALE: 1/4" = 1'-0"



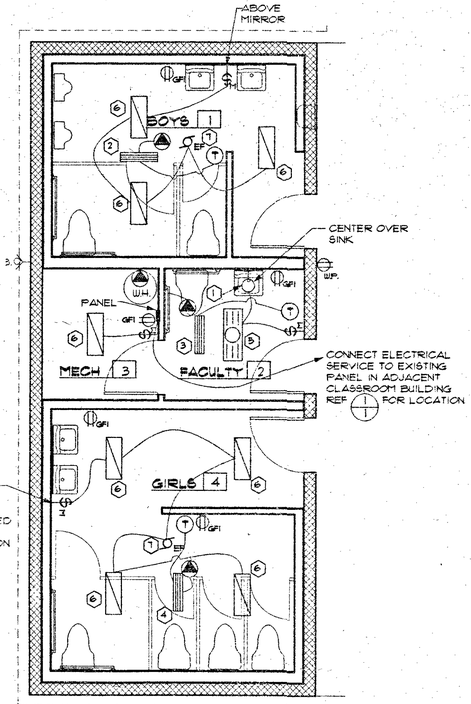
4/5 ADA LAVATORY

SCALE: 1/4" = 1'-0"



5/5 FIXTURE MOUNTING HEIGHTS

SCALE: 1/4" = 1'-0"



6/5 ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

PLAN NORTH

ELECTRICAL LEGEND

	LIGHT FIXTURE - WALL SURFACE MOUNT		RESISTANCE TYPE LOAD, OR OTHER LOAD.
	LIGHT FIXTURE - CEIL. SURFACE MOUNT FLUOR.	S	S.P.S.T. SWITCH
	DUPLEX RECEPTACLE, 110V, 18" TO ℄ OF RECEPTACLE UNLESS NOTED OTHERWISE.	S M	MOTION ACTIVATED SWITCH
GFI	GROUND FAULT CURRENT INTERRUPTING RECEPTACLE.	T	THERMOSTAT
WP.	WATER PROOF OUTLET		FAN/LIGHT
	ELECTRICAL PANEL - SIZE FOR BUILDING LOAD		RADIANT CEILING PANEL
		EF	EXHAUST FAN.

ELECTRICAL FIXTURE SCHEDULE

MARK	FIXTURE / MOUNTING	MANUFACTURER	MODEL	LAMPS	REMARKS
1	WALL SURFACE MOUNT OVER LAVATORY	PROGRESS OR EQUAL	P7114-60 120V NPF BALLAST	2-F20T12	
2	RADIANT HEAT CEILING PANEL	QMARK AZTEC	SIZE FOR ROOM SURFACE MOUNTING KIT		
3	RADIANT HEAT CEILING PANEL	QMARK AZTEC	SIZE FOR ROOM SURFACE MOUNTING KIT		
4	RADIANT HEAT CEILING PANEL	QMARK AZTEC	SIZE FOR ROOM SURFACE MOUNTING KIT		
5	LIGHT/ FAN COMBINATION	BROAN	SOLITAIRE 98QLU		
6	RECESSED CEILING FLUOR.	CONTRACTOR'S CHOICE		2-F30T12	SHATTER-PROOF SMOOTH BOTTOM LENS.
7	EXHAUST FAN	BROAN	SOLITAIRE 5150		

CLAY/CLAY & ASSOCIATES INC.
ARCHITECTURE AND PLANNING
LAND USE AND INTERIORS
125 WEST CENTRAL AVENUE
SUITE 400
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REGISTERED ARCHITECT
STEVEN L. CLAY
COOS BAY, OREGON
1636
STATE OF OREGON

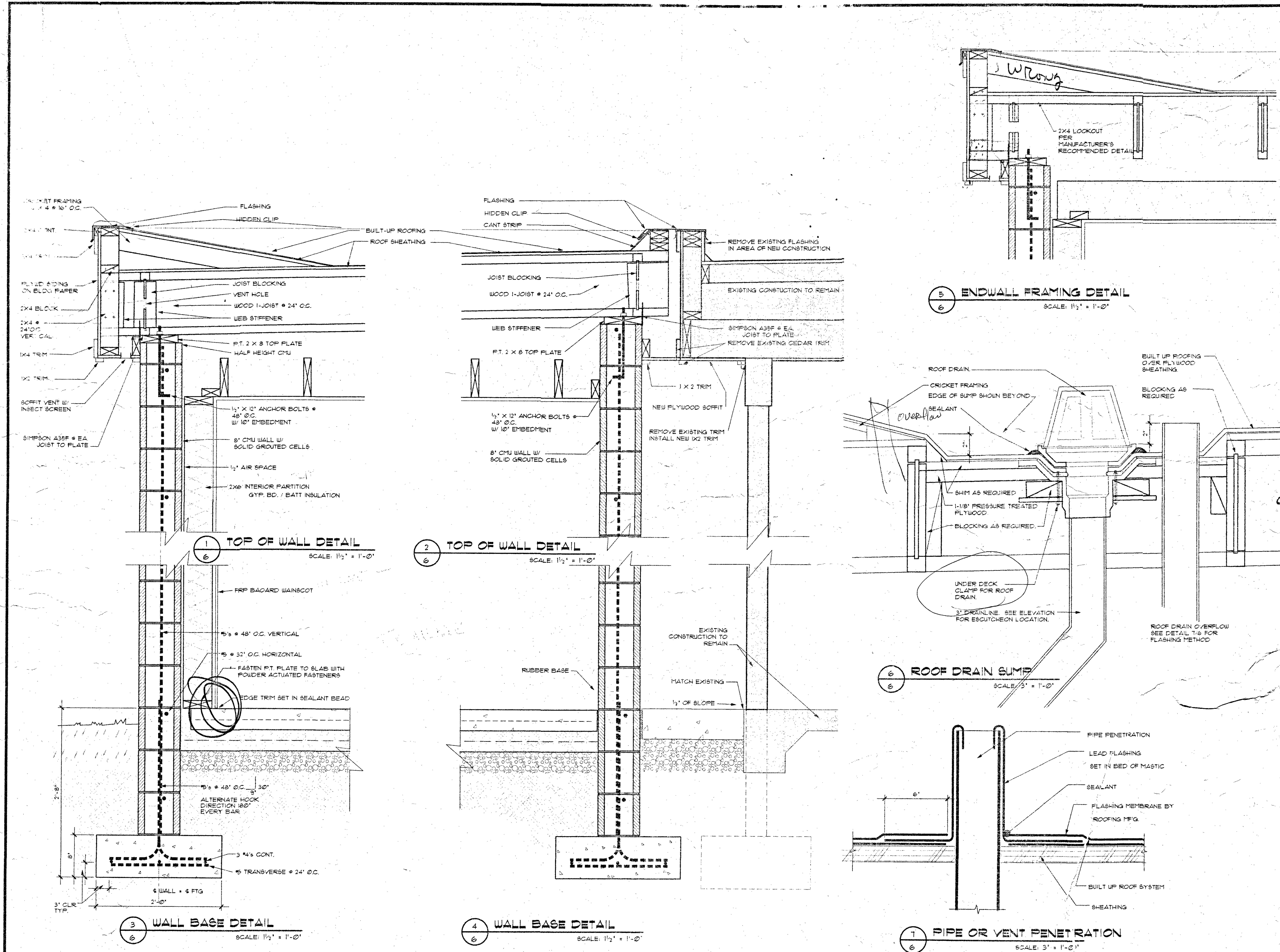
APPLEGATE RESTROOM BUILDING
THREE RIVERS SCHOOL DISTRICT
14188 HIGHWAY 238
JACKSONVILLE OREGON

CEILING & ELECTRICAL PLANS

DATE: JULY 2000

SHEET: 5

00347



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1836
STATE OF OREGON

APPLEGATE RESTROOM BUILDING
THREE RIVERS SCHOOL DISTRICT
14188 HIGHWAY 238
JACKSONVILLE OREGON

DETAILS

DATE: JULY 2000

SHEET: 6

00347

ROOM FINISH SCHEDULE

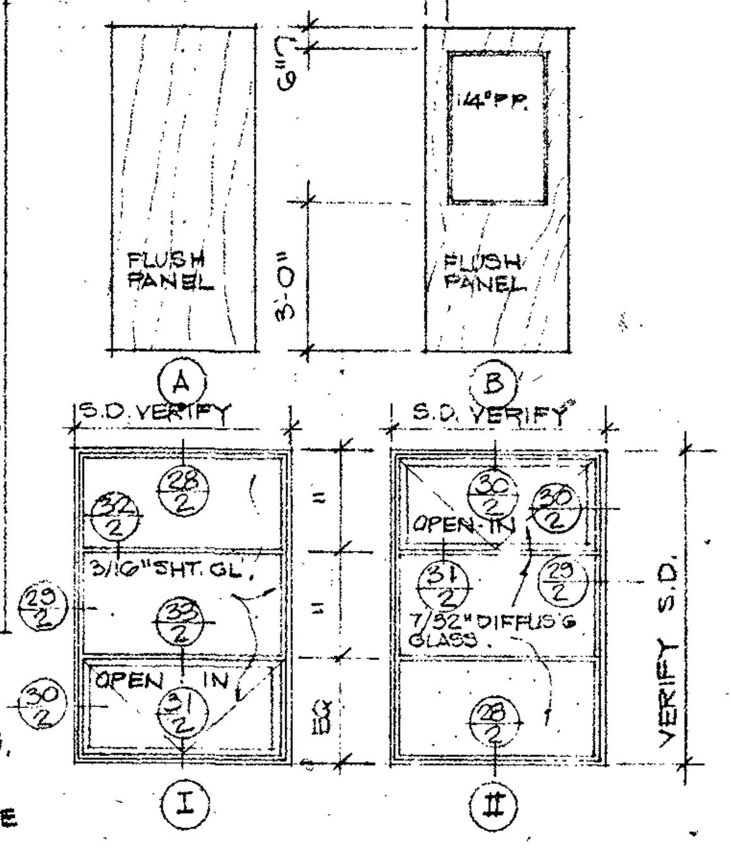
MARK	ROOM	FLOOR MAT	FLOOR FIN	BASE MAT	BASE FIN	WALL "A" MAT	WALL "A" FIN	WALL "B" MAT	WALL "B" FIN	WALL "C" MAT	WALL "C" FIN	WALL "D" MAT	WALL "D" FIN	CEILING MAT	CEILING FIN	TRIM MAT	TRIM FIN	REMARKS
F-1	CLASSROOM	EXIST CONC	EXIST	WOOD 39/2	SGE	EXIST	EXIST	EXIST	EXIST	EXIST (B)	EXIST. SGE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	NOTE: (ALL ROOM FINISHES THROUGH-OUT BUILDING)
F-2	WORKROOM					EXIST EXIST HARDBD	EXIST. SGE			EXIST.	EXIST.							PATCH OR REPAIR ALL ROOM FINISHES OR MATERIALS DISTURBED OR EXPOSED BY REMODELING WORK, BUT NOT SPECIFICALLY NOTED ON THE DRAWINGS, TO MATCH EXISTING SIMILAR FINISHES OR MATERIALS
F-3	CLASSROOM					EXIST (B)	EXIST SGE			EXIST (B)	EXIST SGE							
F-4	CLASSROOM					EXIST (B)	EXIST SGE			EXIST (B)	EXIST SGE	(B)	SGE					
F-5	CORRIDOR					EXIST	EXIST			EXIST.	EXIST	EXIST HARDBD.	EXIST SGE					
F-6	ART		(ASPHALT TILE)	4" VINYL TOPSET	FACTORY		EXIST (FACTORY) SGE		EXIST (FACTORY) SGE	EXIST.	EXIST (FACTORY) SGE	EXIST (A)(B)	EXIST SGE			EXIST WOOD	EXIST SGE	REPAINT EXIST. WINDOW & DOOR FRAMES & CASING (EXT. DOORS ONLY)
F-7	WORK		(ASPHALT TILE)	4" VINYL TOPSET WOOD 39/2	FACTORY SGE	EXIST (WALLBD) GYPBD & PLYWD	FWP SGE & LAM. PLAS.	EXIST (WALLBD) PLYWOOD	FWP LAM PLAS	EXIST (WALLBD) PLYWOOD	FWP LAM PLAS	EXIST (WALLBD) GYP BD (B)	FWP SGE		FWP	EXIST & NEW WOOD	SGE	REPLACE ALL EXISTING DAMAGED OR OPEN-JOINTED ASPHALT TILE - PROVIDE NEW TILE @ DEMOLISHED PARTITIONS
F-8	SUPPLY			WOOD 39/2 4" VINYL TOPSET	SGE FACTORY	EXIST	SGE	EXIST	SGE	EXIST.	SGE	EXIST.	SGE	EXIST	SGE			
F-9	MECH			EXIST	EXIST		EXIST.		EXIST.		EXIST.		EXIST.			EXIST	EXIST	REPAINT EXIST DOOR FRAME & CASING
F-10	GIRLS			WOOD 39/2	SGE													NEW PLYWOOD PARTITION & GATES: SGE
F-11	ALCOVE						SGE		SGE		SGE	—	—					
F-12	JANITOR						EXIST		EXIST		EXIST	EXIST	EXIST					
F-13	TOILET																	
F-14	ALCOVE											—	—					
F-15	BOYS		(N)									EXIST.	EXIST					NEW PLYWOOD PARTITION & GATES: SGE
F-16	AUDIO-VISUAL					HARDBD.	SGE					EXIST WALL BD. GYP. BD (A)	EXIST SGE					

ABBREVIATIONS

BLDG	BUILDING
CONC.	CONCRETE
EXIST.	EXISTING
EXT.	EXTERIOR
FWP	FLAT WALL PAINT
GYPBD	GYPSUM BOARD
HT.	HEIGHT
H.M.	HOLLOW METAL
LAM. PLAS.	LAMINATED PLASTIC
NIC	NOT IN CONTRACT
O.C.	ON CENTERS
OPG	OPENING
REQ'D	REQUIRED
SCW	SOLID CORE WOOD
S.D.	SASH DIMENSION
SGE	SEMI-GLOSS ENAMEL
S.S.	STAINLESS STEEL
WD	WOOD
WDO	WINDOW
@	AT
∠	ANGLE
PL	PLATE

DOOR SCHEDULE

MARK	SIZE	DOOR MAT.	DOOR TYPE	FRAME MAT.	FRAME TYPE	FINISH	REMARKS
1	2'-8" x 6'-8" x 1 3/4"	SCW	(A)	WD	(D)	DOOR-SGE FRAME-SGE	
2	2'-10" x 6'-8" x 1 3/4"	SCW	(B)	WD	(D)	DOOR-SGV. FRAME-SGE	
3	UNASSIGNED						



NOTE: (WINDOW TYPES) VERIFY SASH DIMENSION FOR EACH OPG. REMOVE ALL EXIST. GLAZING & OPERABLE SASH (WHERE ALUMN WDO AT CALLED FOR) REMOVE ALL EXISTING MUNTINS. SET NEW SASH W/ NEW WD. STOPS & TRIM IN EXISTING WD. FRAMES.

DOOR & WINDOW TYPES

GENERAL NOTES

(A) REMOVE DECAYED PORTION OF PLATE AND STUDS TO UNDERSIDE OF EXIST. SILL. REPLACE W/ PRESSURE TREATED PLATE, NEW STUDS, AND 1x4 FURRING 8" O.C. AND 1/4" HDBD. TO MATCH EXIST. GROUT OPG. UNDER PLATES.

(B) REMOVE DECAYED PORTION OF PLATE AND STUDS. REPLACE MATERIALS AS DETAILED - 38/2 GROUT OPG. UNDER PLATES.

(B1) CHALKBOARD W/ FRAME - WEBER COSTELLO MONARCH "J" UNITS COMPLETELY PREFABRICATED BY THE MANUFACTURER. CHALKBD. "CROWNSITE" 1/4" THICK W/ 1/4" HARDBD BACKING. FRAME SHALL BE EXTRUDED ALUMINUM W/ SATIN FINISH. MOUNTING HT. APPROX. 6'-7" TO UNDERSIDE OF EXIST. WOOD TRIM. SIZES AS SHOWN ON THE DRAWINGS.

(C) COMPLETE R.A. CHASES AS IN ROOM F-6, 1/4" HDBD ON 1x4 FURRING 8" O.C. APPROX. 6'-8" HT. INSTALL EXIST. GRILLES 13 1/2" x 19"

(D) INSTALL NEW WD. FRAME - MATCH EXIST. FRAMES.

(E) INSTALL NEW 1/4" HDBD APPROX 6'8" HT. PROVIDE FURRING AS NEEDED.

(F) REMOVE LOWER SHELF - RAISE COAT ROD APPROX. 14"

(G) REPLACE 12"x12" R.A. GRILLE

(H) REMOVE EXISTING LOUVER, CLOSE OPG., PATCH WALL TO MATCH EXIST.

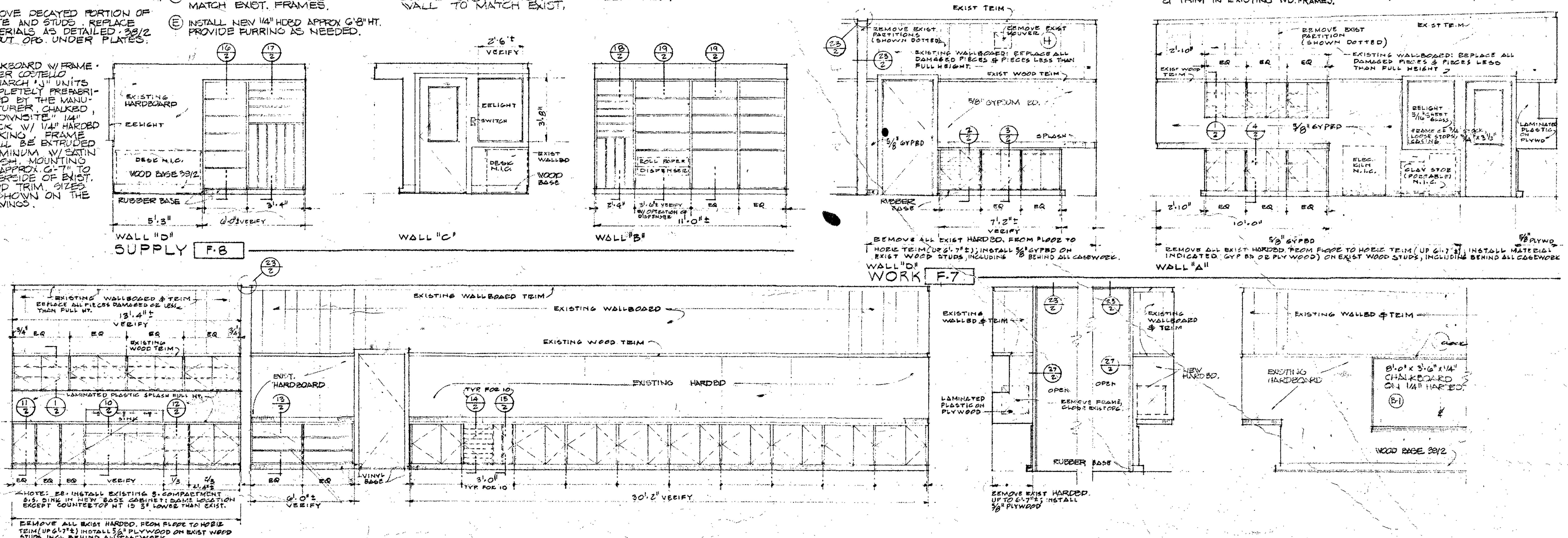
(J) REPLACE 1/4" HARDBD. ON 5/8" GYPBD. ON 1x4 FURRING 8" O.C., AREA APPROX 45 □'

(K) EXPOSED HOT WATER PIPE @ TOP OF BASE TO BE RELOCATED.

(L) COORDINATE PATCHING OF ROOF AND CEILING (MATCH EXIST.) W/ VENT PIPE FOR ELECTRIC KILN.

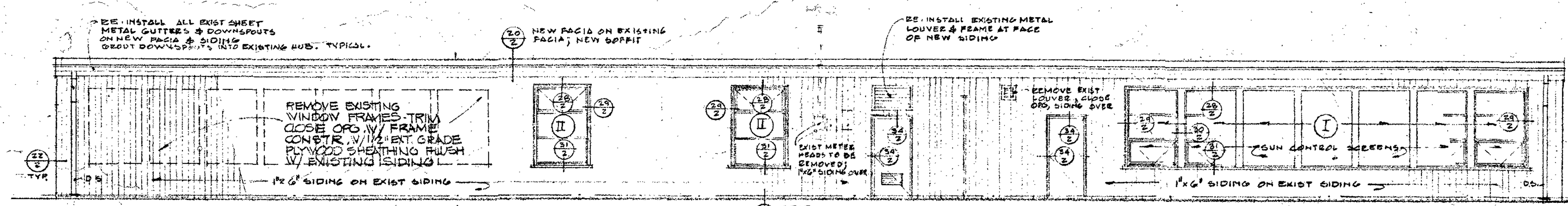
(M) REPLACE CEILING MAT. TO MATCH EXISTING.

(N) REPLACE APPROX. 36 SQ. FT. ASPHALT TILE @ TOILET COMPART.

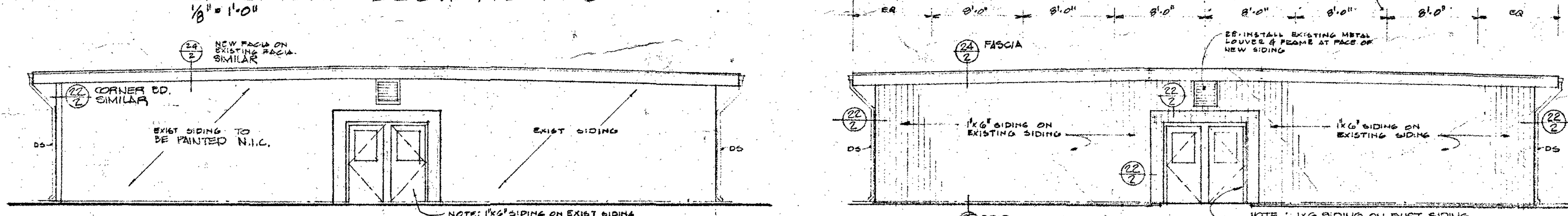


WALL "D" SUPPLY F-8 — WALL "C" — WALL "B" — WALL "D" WORK F-7 — WALL "A"

WALL "B" WORK F-7 & ART F-6 — WALL "C" WORK F-7 — WALL "A" ART F-6 — WALL "D"

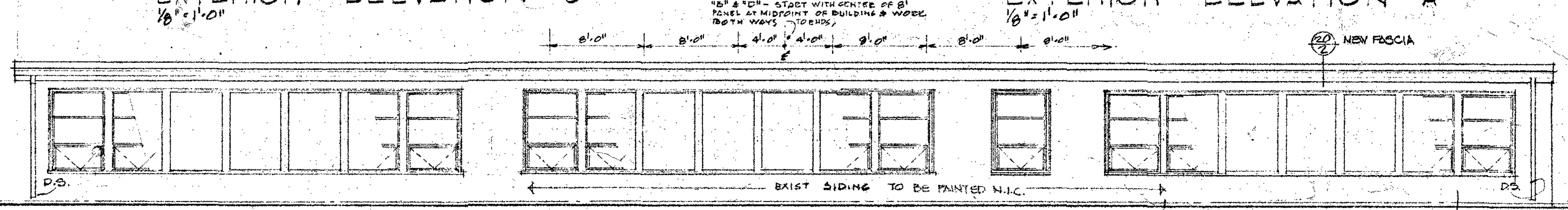


EXTERIOR ELEVATION "D"
1/8" = 1'-0"

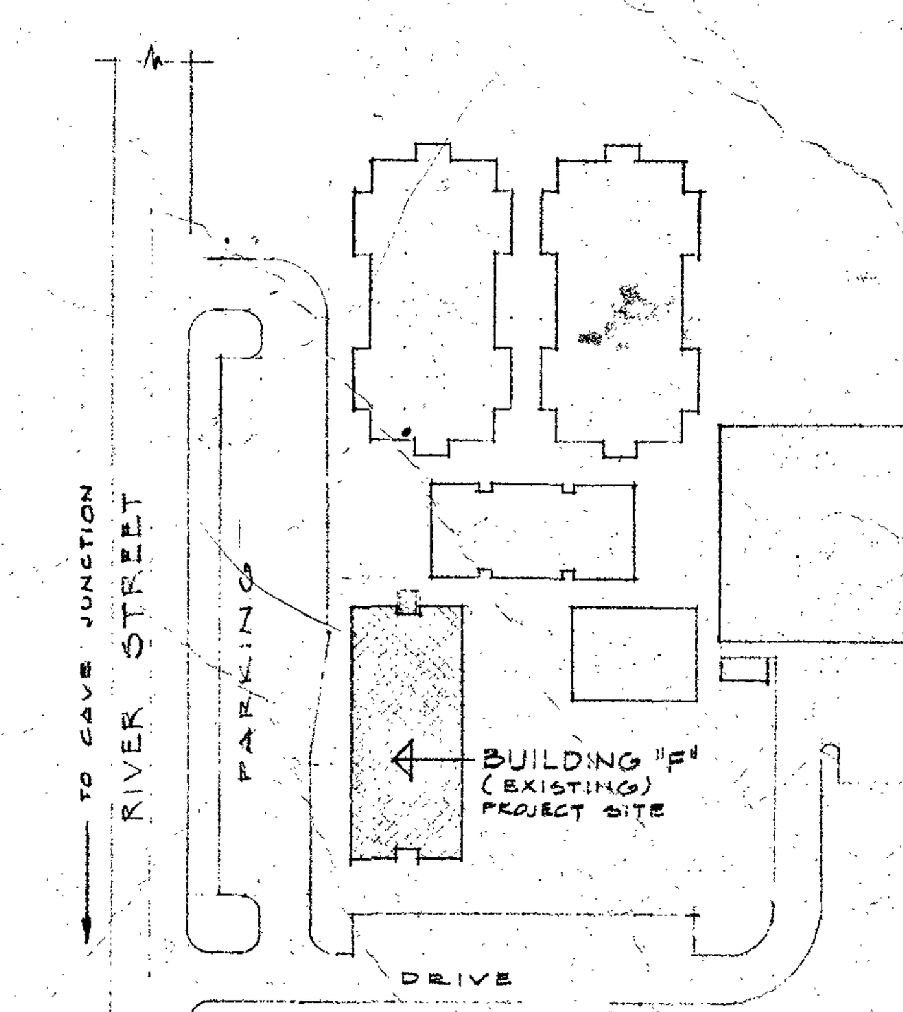


EXTERIOR ELEVATION "C"
1/8" = 1'-0"

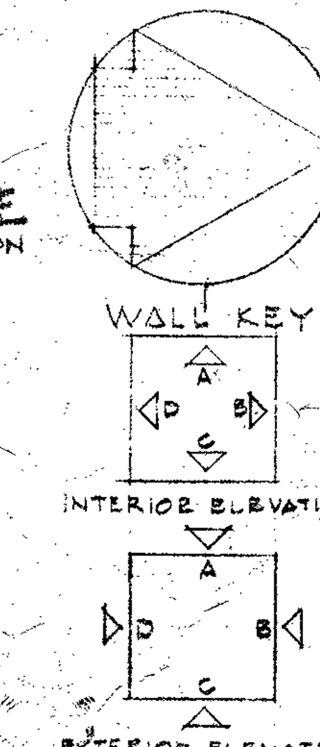
EXTERIOR ELEVATION "A"
1/8" = 1'-0"



EXTERIOR ELEVATION "B"
1/8" = 1'-0"

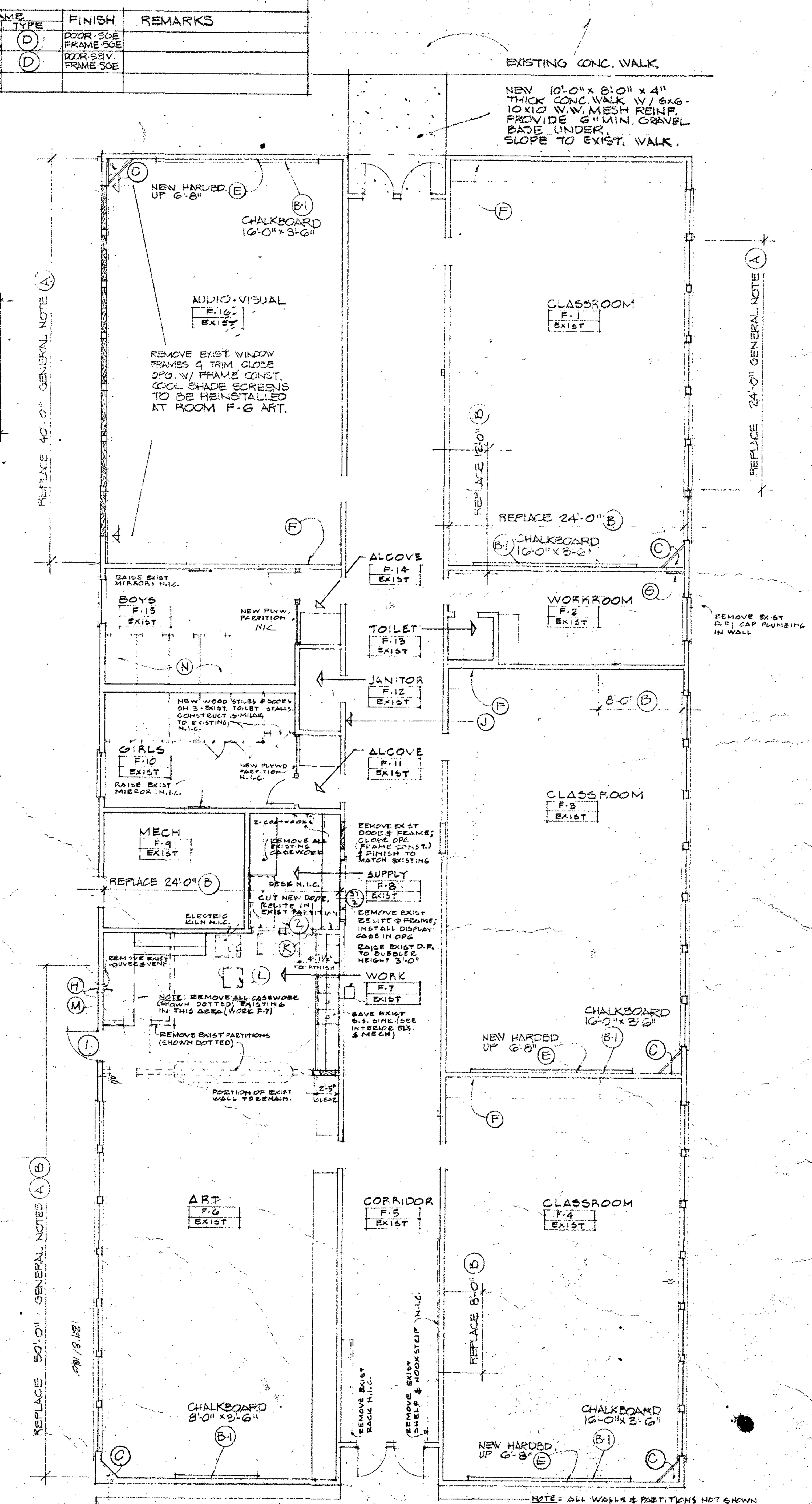


EVERGREEN SCHOOL SITE
LOCATED APPROXIMATELY 1/4 MILE WEST OF CAVE JUNCTION
1" = 100'



NORTH (SITE & BLDG PLANS)

WALL KEY — INTERIOR ELEVATIONS — EXTERIOR ELEVATIONS



NOTE: ALL WALLS & PARTITIONS NOT SHOWN SHADED ARE EXISTING

FLOOR PLAN
1/8" = 1'-0"

INDEX TO DRAWINGS

1	BLDG "F" PLAN, SCHEDULES, ELEV'S
2	CASEWORK & DETAILS
M-1	
E-1	

REGISTERED ARCHITECT — JACK A. EDSON — MEDFORD, OREGON — STATE OF OREGON

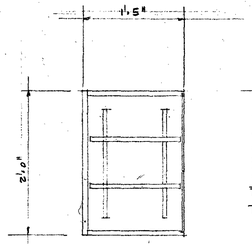
BLDG "F" - PLAN, SCHEDULES, ELEV'S

EVERGREEN SCHOOL - REMODEL ORIGINAL BUILD'G
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

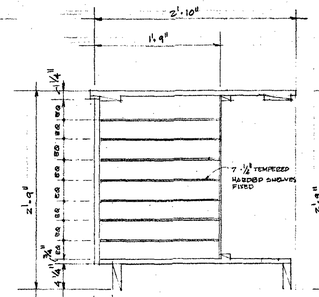
RRK
JAE

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

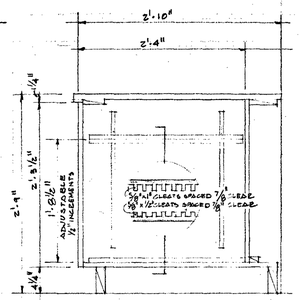
1



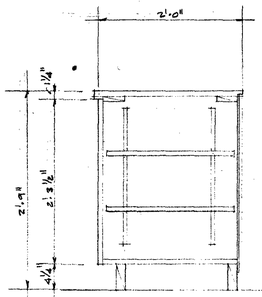
1/2 UPPER CABINET
1"=1'-0"



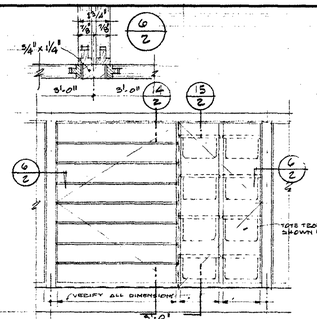
2/2 PAPER STOR.
1"=1'-0"



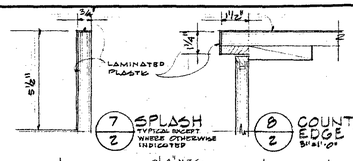
3/2 DRAWING BD STOR
1"=1'-0"



4/2 BASE CABINET
1"=1'-0"

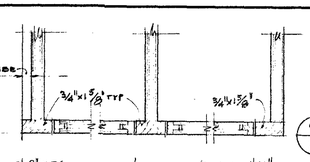


5/2 PROJECT STOR & TOTE TRAYS (ELEVATION)
1"=1'-0"

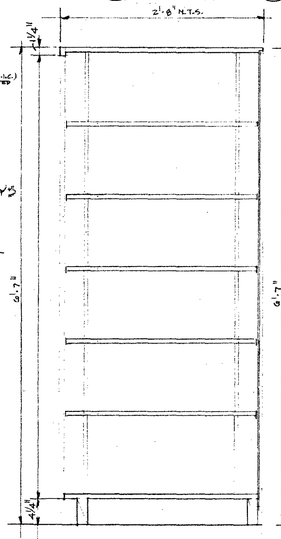


7/2 SPLASH
TYPICAL EXCEPT WHERE OTHERWISE INDICATED

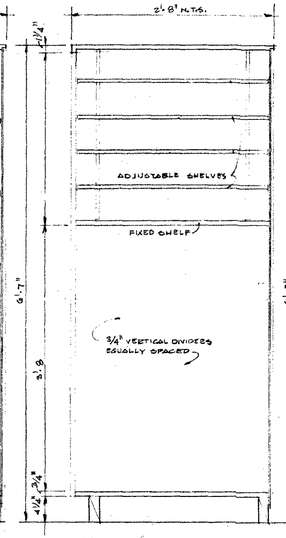
8/2 COUNTER EDGE
TYPICAL
5"=1'-0"



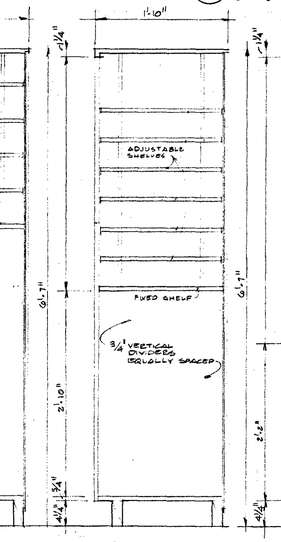
9/2 JAMBS & SUPPORT
TYPICAL EXCEPT WHERE OTHERWISE INDICATED
3"=1'-0"



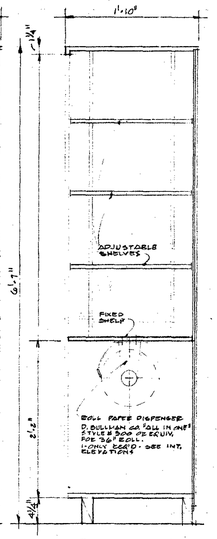
16/2 GENERAL STOR
1"=1'-0"



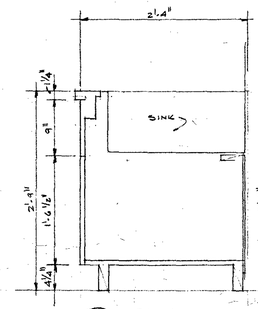
17/2 MATB'D & PAPER
1"=1'-0"



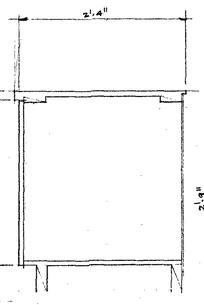
18/2 MATB'D & PAPER
1"=1'-0"



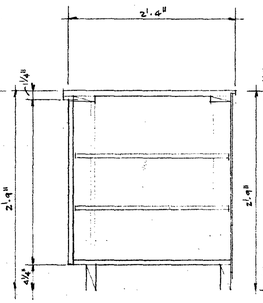
19/2 PAPER & GENERAL
1"=1'-0"



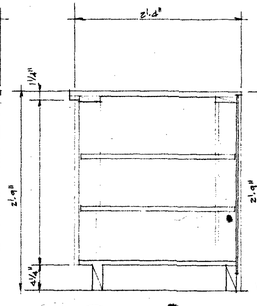
10/2 SINK CABINET
1"=1'-0"



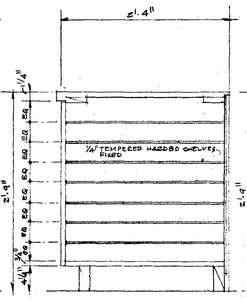
11/2 BULK STOR.
1"=1'-0"



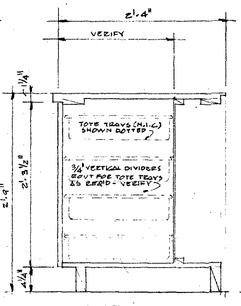
12/2 BASE CAB'T
1"=1'-0"



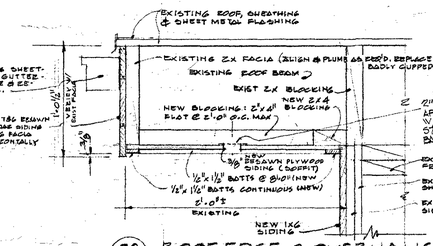
13/2 BASE CAB'T
1"=1'-0"



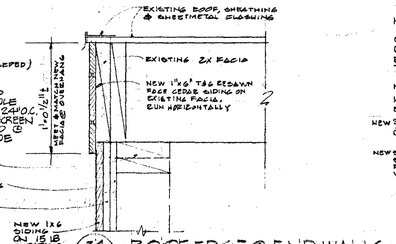
14/2 PROJECT STOR
1"=1'-0"



15/2 TOTE TRAYS
1"=1'-0"

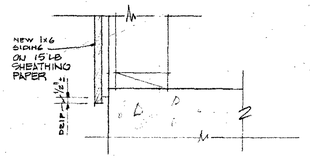


20/2 ROOF EDGE @ OVERHANG
1 1/2"=1'-0"

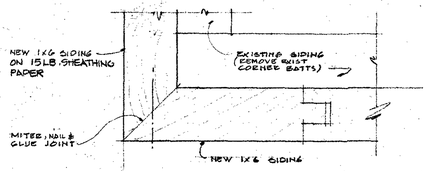


24/2 ROOF EDGE @ END WALLS
1 1/2"=1'-0"

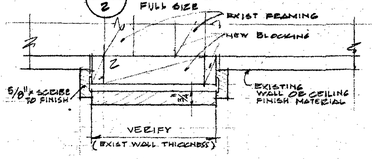
21/2 DELETED



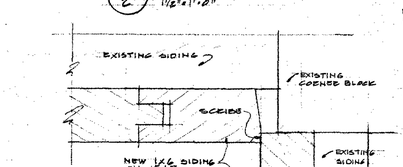
25/2 DRIP @ SIDING
1 1/2"=1'-0"



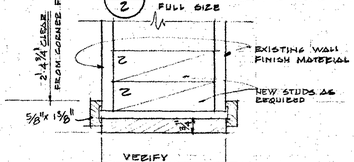
22/2 OUTCORNER @ SIDING
FULL SIZE



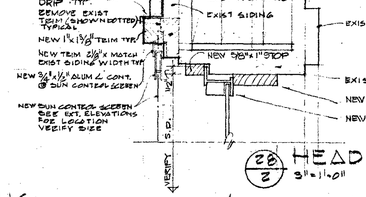
23/2 TRIM @ REMOVED PARTITION
3"=1'-0"



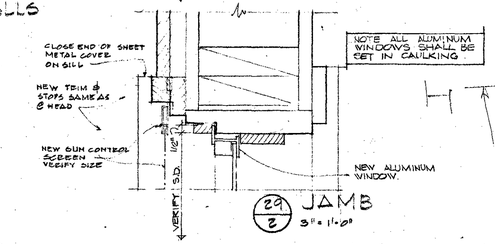
26/2 INCORNER @ SIDING
FULL SIZE



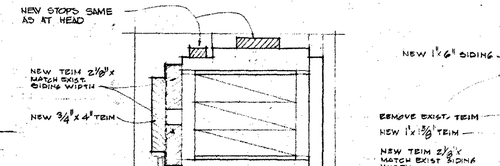
27/2 TRIM @ WING WALL
3"=1'-0"



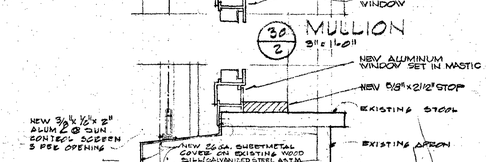
28/2 HEAD
3"=1'-0"



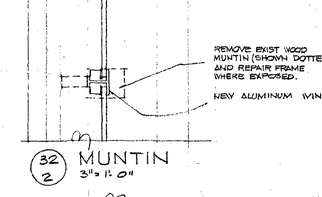
29/2 JAMB
3"=1'-0"



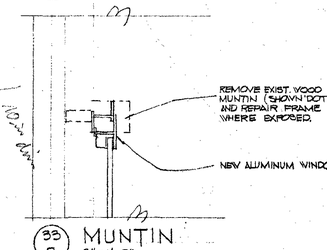
30/2 MULLION
3"=1'-0"



31/2 SILL
3"=1'-0"

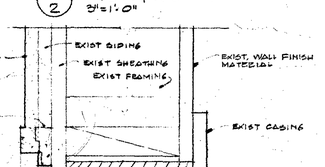


32/2 MUNTIN
3"=1'-0"

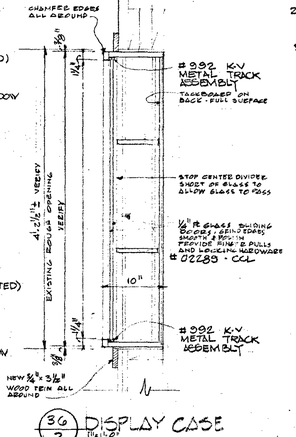


33/2 MUNTIN
3"=1'-0"

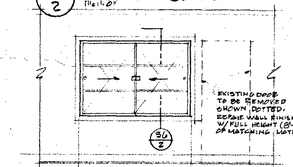
35/2 DELETED



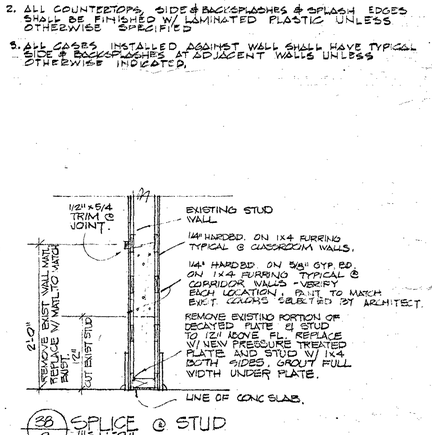
34/2 JAMB: HEAD SIM.
3"=1'-0"



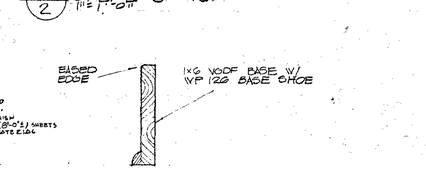
36/2 DISPLAY CASE
1"=1'-0"



37/2 E.LEV. @ DISPLAY CASE (IN CORRIDOR)
1/4"=1'-0"



38/2 SPLICE @ STUD
1"=1'-0"



39/2 WOOD BASE DETAIL
3"=1'-0"

GENERAL NOTES: CASEWORK

1. ALL SHELVING SHALL BE ADJUSTABLE UNLESS OTHERWISE NOTED
2. ALL COUNTERTOPS, SIDE & BACKSPLASHES & SPLASH EDGES SHALL BE FINISHED W/ LAMINATED PLASTIC UNLESS OTHERWISE SPECIFIED
3. ALL CASES INSTALLED AGAINST WALL SHALL HAVE TYPICAL SIDE & BACKSPLASHES AT ADJACENT WALLS UNLESS OTHERWISE INDICATED.

REGISTERED ARCHITECT JACK A. EDSON Medford, OREGON STATE OF OREGON

CASEWORK & DETAILS

EVERGREEN SCHOOL - REMODEL ORIGINAL BUILDG
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

RRK	
JAE	
6518	

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

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SOUTHERN OREGON STATIONERY

DIVISION A - SCHEDULE OF DRAWINGS

ARCHITECTURAL DRAWINGS:
1 Plan, Schedules & Elevations
2 Casework & Details
3 Specifications
4 Specifications

MECHANICAL DRAWING:
M-1 Plan & Schedules

ELECTRICAL DRAWING:
E-1 Plan & Schedules

DIVISION B - INVITATION TO BIDDERS

You are invited to bid (to include General, Mechanical and Electrical Work) for the project described in the specifications and accompanying drawings. Your attention is called to specific instructions regarding bid requirements under articles entitled Contractor's Liability Insurance, Guaranty Bonds, and Bid Guarantee in DIVISION 1, SPECIAL CONDITIONS.

Sealed bids in duplicate will be received by Nettie Schweinfurt, District Clerk at Josephine County School District offices, 706 N. W. "A" Street, Grants Pass, Oregon until 8:00 P.M., Pacific Daylight Time, Monday, August 7, 1967 for the remodel of the Existing Evergreen School located at Cave Junction, Oregon. Bids received after this time will not be considered. Bids will be opened and publicly read aloud at the above stated time and place.

Plans and specifications may be obtained after July 24, 1967 from the School District Office. One set of plans may be obtained by approved General Contractors upon deposit of $25.00. A limited number of additional sets or copies of individual drawings and specification pages will be available and may be obtained for the cost of reproduction.

Attention is called to the bidders prequalification requirements of Sections 279.012 to 279.024, inclusive, O.R.S., which must be filed with the Clerk of the School Board ten (10) days before the date of opening of bids and for which forms may be obtained from the District Office.

The successful bidder will be required, within ten (10) days after the award of the contract, to file Contract Security in accordance with the specifications and to execute the Contract in three counterparts, and to provide Contractor's Liability Insurance as specified.

DIVISION 1 - SPECIAL CONDITIONS

Section 1A - General Requirements

1. SPECIAL NOTE: "The General Conditions of the Contract for the Construction of Buildings, September 1963 Edition, Form A-201", issued by the American Institute of Architects, are hereby considered to be a part of these specifications and are to be included without waiver of any condition, except as hereinafter specified. These General Conditions may be obtained at the office of the School District.

2. SPECIAL CONDITIONS: These Special Conditions and Specifications herewith shall be subject to all the requirements of the General Conditions, Form A-201, except that these Special Conditions shall take precedence over and modify any pages or statements of the General Conditions and shall be used in conjunction with them as part of the Contract Documents.

3. COPIES OF DRAWINGS AND SPECIFICATIONS FURNISHED: Article 4 "Copies Furnished" shall be modified by adding the following: "The District will furnish the Contractor free of charge not more than eight copies of all drawings and specifications. The Contractor shall pay the cost of reproduction for all other copies of drawings and specifications furnished to him."

4. PROTECTION OF WORK AND PROPERTY: Article 12, "Protection of Work and Property" shall be supplemented as follows: At all times provide protection against weather - rain, storms, frost or heat, so as to maintain all new work, material, apparatus, furnishings and fixtures free from injury or damage. At end of day's work, all existing work likely to be damaged shall be covered. Any work damaged by failure to provide protection above required shall be removed and replaced with new work at Contractor's expense.

5. CONTRACTOR'S LIABILITY INSURANCE: Article 27, "Contractor's Liability Insurance" shall be modified by the following specific requirements: "The Contractor shall, throughout the life of this contract, maintain liability insurance as described in Article 27. The policy shall be written to protect the Owner, the Architect, and any one of their respective agents, and shall be placed with a surety acceptable to the Owner. Work shall not commence until required insurance has been obtained and approved by the Owner. If directed to do so, the Contractor shall furnish copies of insurance policies as required as well as a receipt evidencing full premium payment. The amounts of such liability insurance shall not be less than: (1) Bodily Injury Liability Insurance in an amount not less than One Hundred Thousand Dollars ($100,000) for injuries, including wrongful death to any one person and subject to the same limits for each person in an amount not less than Three Hundred Thousand Dollars ($300,000) on account of one accident. (2) Property Damage Insurance in an amount not less than Fifty Thousand Dollars ($50,000) for damage on account of any one accident, and in an amount not less than One Hundred Thousand Dollars ($100,000) for damages on account of all accidents.

6. GUARANTY BONDS: Article 30 "Guaranty Bond" shall be modified as follows: "The successful bidder must deliver to the Owner an executed Payment and Performance Bond in an amount equal to one hundred percent (100%) of the accepted bids as security for the faithful performance of the contract and the payment of all bills in connection therewith. The surety shall be approved by the State in which the project is located and the bond, written to comply in all respects with the provisions of O.R.S. Chapter 279, must be approved by the Owner prior to execution of the formal contract."

7. CLEANING UP: Article 44 "Cleaning Up" shall be supplemented as follows: "Remove all putty, dirt, paint, grease, etc. from all surfaces. Clean all finish tile and plumbing fixtures and thoroughly wash with soap and water. Clean all finish hardware. Immediately before turning the building over to the Owner wash and clean all glass, exposed aluminum window frames and clean all resilient floor coverings with an approved cleaning solution. Leave floors clean and ready for waxing by the Owner.

8. BID GUARANTEE: Bids shall be accompanied by a bid guarantee of not less than five percent (5%) of the amount of the bid, which may be a Bid Bond, certified check, or cashier's check made payable to the Owner. Such bid bond or check shall be submitted with the understanding that it shall guarantee that the bidder will not withdraw his bid for a period of thirty (30) days after the scheduled closing time for the receipt of bids; that if his bid is accepted, he will enter into a formal contract with the Owner in accordance with the Form of Agreement included as a part of the Contract Documents, and that the required Performance Bond will be given; and that in the event of the withdrawal of said bid within said period, or the failure to enter into said contract and give said bonds within ten (10) days after he has received notice of acceptance of his bid, the bidder shall be liable to the Owner for the full amount of the bid guarantee as representing the damage to the Owner on account of the default of the bidder in any particular hereof.

9. SUBSTITUTIONS: Bids must be based upon the specific articles and materials named in the specifications. Substitutions may be made ONLY under the following conditions:

A. Seven or More Days Prior to Bid Opening: Prime bidders may submit to the Architect written requests for approval of articles or materials which they guarantee equal or superior to those specified. Such requests shall be accompanied by complete descriptions and technical data. Approval or rejection of the proposed substitution will be made by bulletins issued to all bidders.

B. At the Time Bids are Received: Prime bidders may submit, on a separate sheet enclosed with the bid form, a list of proposed substitutions which they are willing to guarantee, and stating the additions to or deductions from bid prices in case substitutions are allowed. Technical data shall be submitted, as above. The Owner reserves the right to reject all such proposals, and they will not be used to determine the low bid.

C. After the Contract is Signed: Approval of substitutions will be made only in exceptional cases where the Contractor submits evidence satisfactory to the Architect that, through no fault of his own, specified or otherwise approved items cannot be obtained in time to avoid delay to the work. In any case, substitutions are subject to the approval of the Architect.

10. SPECIFICATION WORDING: These specifications are of the abbreviated or "streamlined" type and frequently include incomplete sentences. Words such as "shall," "shall be", "the Contractor shall" and similar madatory phrases shall be supplied by inferences in the same manner as they are in a note on the drawings. The Contractor shall provide all items listed and perform all operations required, and shall furnish all labor, materials, equipment, services and incidentals required for their completion.

11. SPECIFICATION DIVISIONS: The specifications have been set up in Divisions conforming roughly to customary trade practice for the convenience of Contractor only. The Architect is not bound to define the limits of any subcontractors.

12. MANUFACTURER'S DIRECTIONS: All manufactured articles, materials, and equipment shall be applied, installed, connected, erected, used, cleaned and conditioned in accordance with manufacturers' directions unless otherwise specified.

13. COOPERATION:

A. The Owner reserves the right to enter upon the premises, to use same, and to have work done by other contractors, or to use parts of the work of this Contractor, before the substantial or final completion of the work, it being understood that such use by the Owner in no way relieves the Contractor from full responsibility for his entire work until final completion of his contract.

B. If, in the judgment of the Architect, it becomes necessary at any time during the progress of the work, in order to accelerate the work of this Contractor, or the work being done by others under separate contracts, this contractor, when ordered and directed by the Architect, shall cease his work at any particular point temporarily and transfer his men to such other point or points, and execute such portions of his work as may be required by the Architect.

14. WHERE REQUIRED: The locations of materials or articles given in the specifications under the heading of "Where Required" is for a guide and may not include every location where such materials or articles are required. The Contractor shall consult the drawings for additional locations where such materials or articles are required and shall provide them as specified for the listed items.

15. EXAMINATION OF SITE: All bidders are required to visit the site of the work and to thoroughly inform themselves as to existent physical conditions. They shall inform themselves as to conditions bearing upon transportation, disposal, storage of materials, availability of water, electric power, labor, etc. Any failure of a bidder to fully acquaint himself with both site and local conditions shall not relieve him from the responsibility for estimating properly the cost of successfully performing the work.

16. REPLACEMENT OF DAMAGED GLASS: The Contractor shall replace before completion of project all damaged, broken or scratched glass of every description.

17. TIME OF COMPLETION: Each bidder shall state in his bid, in the space provided therefore in the bid form, the number of consecutive calendar days which he will require to substantially complete the work, and shall fully complete it not more than 30 calendar days thereafter.

18. SUBSTANTIAL COMPLETION: "Substantial Completion" where used in the Contract Documents shall be understood to mean the date when the Architect issues the final certificate of payment.

19. GUARANTEES: Unless otherwise stipulated, the General Contractor shall provide the Owner at the completion and acceptance of the project with a letter of guarantee stating that the work will be free from defects for a period of one year and that if such defects do occur, he will correct the work and any resultant damage to other work to the Owner's satisfaction without further payment.

20. WORKMANSHIP: It is the true and specific intent of these specifications that workmanship on all phases of the construction and embracing all the trade sections shall be of high quality performed by workmen skilled in their trade and performing their work only according to the Standards of Best Practice of the trade.

21. MATERIALS: All materials shall be manufactured within the continental limits of the United States unless otherwise approved as per 110 of Special Conditions.

22. FIRE INSURANCE: The Owner will maintain fire insurance on the structure and on materials stored on the site or incorporated into the structure at all stages of completion to the full replacement value thereof.

23. PREVAILING WAGE RATES: Special attention is called to the provisions of O.R.S. 279.350, O.R.S. 279,352 and O.R.S. 279.354 concerning the payment of prevailing wages on public work in the various trade catagories which will be required under this contract. Monthly affidavits certifying payment of prevailing wages will be required of the Contractor on the project.

24. SUPERINTENDENCE SUPERVISION: The same superintendent shall be maintained continuously on the project from beginning to completion unless a change is approved by the Owner.

Section 1B - Allowances

1. GENERAL CONDITIONS: The General Conditions and Special Conditions shall govern this section of the work.

2. WORK INCLUDED: Finish Hardware, Division 8.

DIVISION 2 - SITE WORK

Section 2A - Demolition

1. GENERAL:

A. Demolition shall include all existing portions of structures noted to be demolished.
B. This work shall include, but not be limited to Building "F".
C. Obtain and pay for all permits as required.
D. Protect and maintain all conduits, drains, sewers, pipes and wires that are to remain on the property.
E. Provide, erect and maintain all fences, bracing, shoreup, lights, barricades, warning signs, and guards as necessary for the protection of streets, sidewalks, curbs, utilities, equipment on the site and adjoining properties.
F. Remove all protection when work is complete and/or when authorized to do so by the Architect.

2. CLEAN-UP:

A. Debris shall not accumulate on the site. Salvable material, not reused in construction, shall be removed. Sale of material on the site is prohibited.
B. Removal shall be in such a manner as to prevent spillage. Pavements and areas adjacent to the site shall be kept clean and free from mud, dirt and debris at all times.

DIVISION 3 - CONCRETE - (None in this Project)

DIVISION 4 - MASONRY - (None in this Project)

DIVISION 5 - METALS - (None in this Project)

DIVISION 6 - CARPENTRY

Section 6A - Carpentry and Millwork

1. GENERAL CONDITIONS: The General Conditions and Special Conditions shall govern this section of the work.

2. WORK INCLUDED: All carpentry, millwork and other related items including, but not limited to, the following principal items:

A. Rough Carpentry
B. Finish Carpentry and Millwork
C. Finish Hardware Installation
D. Wood Door and Frame Installation

3. WORK BY OTHERS:

A. Gypsum Wallboard, Division 9 - Finishes
B. Painting - Division 9 - Finishes
C. Wood Doors - Division 8 - Doors, Windows and Glass

4. GENERAL - Lumber Grading Rules:

A. Soft Woods: West Coast Lumbermen's Association (W.C.L.A.) Standard Grading and Dressing Rules No. 15.
B. Soft Wood Plywood: Douglas Fir Plywood Association Rules (D.F.P.A.).
C. Hardwoods: National Hardwood Lumber Association Rules (N.H.L.A.).
D. CEDAR: Western Pine Association Standard Grading Rules.

5. MOISTURE CONTENT: Percentage of Weight of Oven Dry Wood:

A. All lumber specified to have a maximum moisture content of 16 percent or less shall be kiln dried (K.D.).
B. Furnish moisture content certificates, if requested by the Architect, for any items of lumber specified. Such certificates shall be in strict accordance with W.C.L.A. Standard Certification practice.
C. In the absence of a stated maximum allowable moisture content for items of lumber specified to be kiln dried, W.C.L.A., paragraph 2g (aa) and (bb) shall govern.
D. Moisture content for interior finish shall average 10 percent with no portion of a shipment exceeding 15 percent.
E. Moisture content for rough and framing lumber, shall average not over 19 percent with no portion of a shipment exceeding 24 percent.
F. Moisture content for rough and framing lumber, shall average not over 19 percent with no portion of a shipment exceeding 24 percent.

6. ROUGH HARDWARE:

A. General: Provide as required for proper installation of Carpentry and Millwork. Types, sizes and shapes as required to hold members securely together, in place or to other materials. Exposed exterior hardware shall be galvanized after fabrication.
B. Washers and Nuts: Provide washers and nuts for all bolts for securing wood together and to other materials.

7. FINISH HARDWARE INSTALLATION: General - Care for and install all finish hardware provided under Section 8B. Adjust movable parts of all finish hardware to operate perfectly at time of final acceptance. Make further adjustments as required within one year after completion. Tighten and adjust all existing finish hardware.

8. ROUGH CARPENTRY

A. Material: All material shall be Douglas Fir, Standard and Better, surfaced 4 sides, unless otherwise noted.
(1) New Plates on existing concrete footings and slabs: Pressure Treated Douglas Fir Standard Full Cell pressure treatment with "Chemonite" or approved equal. Construction par. 122b and 123b.
(2) Studs: Construction par. 122b and 123b.
(3) Blocking, bucks, furring, stripping and grounds: Standard par. 122c and 123c.
(4) Sheathing Paper: 15 pound asphalt impregnated building paper.

B. Construction:
(1) General: Erect all framing and other wood construction in a strong, substantial and workmanlike manner. Exercise care and foresight in laying out to prevent conflicts with other trades.
(2) Studding: Wood stud walls to be laid out true to line, square and plumb, studs 16 inches o.c. unless otherwise indicated. Studs and blocking shall be placed to provide adequate nailing for surface materials. Double at all openings, triple at corners and intersections. Provide wall partitions with double top plates, single floor plate, horizontal nailers, bracing and blocking, doubled heads all securely nailed. Arrange plates to form continuous horizontal ties, splice single plates, stagger ends of double plates. Splice plates abutting at corners.
(3) Grounds, Stripping, Furring and Blocking: Shall be furnished and installed to provide proper backing to receive all mouldings, frames, gypsum wallboard, plywood and other materials, including tissue holders, mirrors, door stops, etc.

9. FINISH CARPENTRY AND MILLWORK

A. General: Take necessary measurements at building to assure proper fit of all work. Execute in strict conformity with details. Leave all exposed surfaces ready for painter's finish.
B. Shop Drawings: Millwork to furnish shop drawings in triplicate for approval of Architect before manufacture.
C. Millwork Storage and Protection: All millwork to be protected and kept under cover in transit and at the job site, and shall not be delivered before it is required for the proper conduct of work.
D. Workmanship and Assembly: Work shall be assembled at the mill insofar as it is practical, and delivered ready for erection. When it is necessary to cut and fit on the job, the material shall be made with ample allowance for cutting. Moldings shall be true to detail, cleanly cut and sharp. All exposed molds and surfaces shall be machine sanded to an even, smooth surface, ready for finish. Scribing, mitering and joining shall be done accurately and neatly. Intersecting molds at in-corners shall be neatly coped and not mitered where possible. Use finish nails unless otherwise noted. Set nails for puttying. Adjust doors, etc. to operate perfectly at the time building is accepted.

10. WOOD MATERIALS FOR FINISH CARPENTRY AND MILLWORK

A. Exterior Siding and Fascias: Western Red Cedar "C & Better", 1 x 6 T & G, Square edge with resawn face.
(1) Apply siding vertically, full length boards, apply fascia boards horizontally, 10' lengths minimum, stagger and miter joints, miter outside joints.
(2) Fasten siding and fascia by blind nailing with hot dipped galvanized casing nails @ 2' - 0" o.c. maximum, set nails.

B. Exterior Trim (including stops @ aluminum windows) and Batts: Western Red Cedar, "C & Better" square edge with resawn face and edges.

C. Resawn Plywood: Rough sawn Exterior Grade DFPA, N-C 3/8 inch thick; apply with face grain lengthwise, nail with 6d galvanized siding nails @ 6 inches o.c. @ edges and intermediate supports.

D. Exterior and Interior Door Frames and Trim and all lumber unless specified otherwise: "B & Better" finish, K.D. Douglas Fir, per 101-b.

E. Interior Fir Plywood: Two sides exposed - Interior A-A, D.F.P.A. One side exposed - Interior A-D, D.F.P.A.

F. Hardboard: Georgia-Pacific "Standard Hardboard," surfaced both sides, 48" x 96" x 1/4" thick with beveled edge or approved.

G. Interior Custom Cabinet Work:

(1) General: Methods, details and features of construction, joinery, machining and assembly shall be optional with the manufacturer, but where applicable, must equal the minimum requirements of Conventional Casework, Section 17, for grade specified also equal the typical details as shown on pages 49, 50 and 51 of the W.I.C. Manual. W. I. C. Reinspection procedure shall be used.

(2) Materials: Exposed portions of cases and cabinets shall be finish solid birch stock or rotary unselect birch veneer on particle board core as applicable. Interior of cabinets behind doors shall have rotary unselect Douglas Fir Plywood.

(3) Cabinet Doors: 3/4 inch thick doors - Modified W.I.C. Type 5, flush rotary unselect birch veneer through ply construction with "Tie-blend" core. Tee banded edges with 5/8 inch birch bands compatible with face veneer.

(4) Shelves:
a. General - Casework shelves shall be 3/4 inch thick built-up solid stock birch or 3/4 inch thick rotary unselect birch plywood with birch edge band unless otherwise noted. Shelves longer than 3 feet 0 inches shall be not less than 1 inch net in thickness.
b. Fixed Shelves - Shall be rabbeted into sides and dividers.
c. Adjustable Shelves: Shall be supported on let-in standards No. 225 and supports No. 256, K & V or approved.
d. Shelves Behind Doors - May be rotary cut Douglas Fir Plywood, Tee edge banded on face edge.

(5) Counters, Backsplashes and Sidesplashes: 3/4 inch thick plywood INT B-D, D.F.P.A., counters at sinks EXT B-D, D.F.P.A.

(6) Bases: Provide for 4-1/4 inch high x 3 inch deep toe space, consisting of back rail with cross rails (sleepers) at ends, dividers @ 30 inches o.c. maximum.

(7) Dividers: Where grooved two sides for shelf standards: 1" net thickness. Dividers specifically noted hardboard shall be 1/4 inch thick G-P "Standard Hardboard" or approved.

(8) Backs: 1/4 inch thick, unselect rotary fir plywood INT A-D, D.F.P.A. for all concealed locations, unless otherwise noted.

(9) Scribing: Provide at walls, ends, fronts and backs. Provide scribe mold at ceilings and walls as required.

(10) Finish: All exposed surfaces including edges and moulded contours shall be finish sanded to a smooth even surface at the mill ready for painter's finish.

(11) Wood Door and Frame Installation: All doors will be closely fitted with narrow margins
Top and Side Edges: 1/16 inch
Bottom Edge: 3/8 inch
Jambs shall be set plumb and true.

DIVISION 7 - MOISTURE PROTECTION

Section 7A - Caulking

1. General Conditions: The General Conditions and Special Conditions shall govern this section of the work.

2. WORK INCLUDED: Joints around all exterior doors and windows; elsewhere where indicated or required.

3. MATERIAL: Use A.C. Horn Company's "Vulcatex", Minwax No. 1 Caulking Compound or approved. Include primers and all necessary oakum as recommended by Caulking Compound Manufacturer. Use type of caulking recommended for gun or blade application by manufacturer.

4. APPLICATION: As recommended by Caulking Compound Manufacturer.

5. JOINT FINISH AND CLEANING: Neatly point joints on flush surfaces with beading tool; remove excess material. Caulked joints shall be free of wrinkles, smooth, watertight; joints which are more than 3/4 inches deep from outside face shall be caulked solid with untarred oakum to within 3/4 inches of outside face before applying caulking compound. Immediately clean adjacent areas of smears of compound due to the caulking operation. Leave in clean, neat condition.

6. GUARANTEE: Guarantee that caulked joints will remain watertight, will not run, crumble or otherwise become defective for a period of two years from dote of final acceptance. Repair work which becomes defective during this period along with other work damaged thereby without extra cost to the Owner.

DIVISION 8 - DOORS, WINDOWS & GLASS

Section 8A - Exterior and Interior Wood Doors

1. GENERAL: The General Conditions and Special Conditions shall govern this section of the work.

2. WORK BY OTHERS:

A. Finish Hardware Installation - Division 6

B. Door Installation - Division 6

3. PLUSH SOLID CORE WOOD DOORS: Good Grade No. 1 Unselected Birch Veneer with hardwood side edges. Weldwood's "Staved Lumber Core Doors". Roddis "Standard Staved Core Door" or approved.

Section 8B - Finish Hardware

1. GENERAL: The General Conditions and Special Conditions shall govern this section of the work.

2. HARDWARE ALLOWANCE: The General Contractor shall allow the sum of $375.00 in his base bid to cover the cost of the finish hardware materials. The above sum is for finish hardware materials only and does not include installation costs which shall be included in the Base Bid by the General Contractor.

REGISTERED ARCHITECT · JACK A. EDSON · MEDFORD, OREGON · STATE OF OREGON

SPECIFICATIONS

EVERGREEN SCHOOL · REMODEL · ORIGINAL · BUILDING
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

Section 8B - Finish Hardware (Continued)

3. SELECTION: The Architect and/or Owner shall select the finishing hardware and will subsequently take bids when desired, then authorize and direct the General Contractor to place his order for such hardware as selected.

4. ADJUSTMENT OF COST: Should the cost of his hardware as selected be more than the allowance sum, the Owner shall pay the General Contractor such difference, but should the cost be less than the allowance sum, the General Contractor shall credit the Owner with this difference.

5. FINISH HARDWARE INSTALLATION (General Contractor): The General Contractor shall care for and install all hardware provided under this section. Adjust movable parts to operate perfectly at time of final acceptance.

Section 8C - Metal Windows

1. GENERAL: The General Conditions and Special Conditions shall govern this section of the work.

2. WORK INCLUDED: All aluminum windows and other related items as shown on the drawings.

3. WORK BY OTHERS:

   A. Glass and Glazing, division 8

   B. Caulking, Division 7

4. MATERIALS:

   A. Frame - Members shall be aluminum alloy extruded in shapes specifically designed for window construction. The alloy used shall be 6063 T5 and of suitable temper for use in aluminum windows. Extrusions shall be free from defects impairing strength and durability. Frame and muntin sections shall be not less than 1-1/2 inches deep. Frame shall be unequal leg channel that will provide anchorage at head and jambs. All frames to be complete and standard square edge roll formed aluminum glazing beads. Corners of frames and ventilators shall be caped and mechanically fastened with exposed surfaces finished flush. All frames, ventilators, and mullions shall receive Dura-Bronze coating average thickness 0.4 to 0.6 mills. All screws, bolts and other parts shall be of aluminum or of material not harmful to aluminum under normal conditions of service.

   B. Manufacturer: Mercer Steel Company 1.50, Soule Steel Company or approved.

5. SHOP DRAWINGS: Provide shop drawings in triplicate for approval prior to fabrication.

6. ERECTION: All windows shall be set plumb, square, level and true with their respective openings. Like units of each window or battery of windows shall finish in the same plane and with rails and like members aligned.

7. FINAL ADJUSTMENT: After the work of glazing (by others) has been completed, the entire window installation shall be inspected for the work under this section.

8. PROTECTION: The General Contractor shall be responsible for protecting the aluminum windows during the construction process and for cleaning them at completion of building. Any windows arriving at the job site in a damaged or abraided condition will be rejected.

Section 8D - Glass and Glazing

1. GENERAL: The General Conditions and Special Conditions shall govern this section of the work.

2. WORK INCLUDED: All glass and installation.

3. MATERIALS:

   A. Glass - All glass shall be manufactured by the Pittsburg Plate Glass Company, Libby-Owens-Ford or approved. Glass shall bear identifying labels until approved by the Architect. Glass shall be 3/16" sheet, 1/4" polished plate, 7/32" diffusing ("stippled" pattern as manufactured by Libby-Owens-Ford) as designated on the drawings.

   B. Putty - Armstrong Company's "Armglaze - Type G Knife Grade" in special color to match the aluminum work.

   C. Glazier's Points - Standard zinc triangles or approved equal.

4. WORKMANSHIP: Glazing shall be done in a workmanlike manner and in accordance with the glazing procedures as outlined in the Glazing Manuel of the Flat Glass Jobbers Association.

5. CLEAN UP: Clean all glass before final acceptance of the work, replace all scratched or damaged glass.

DIVISION 9 - FINISHES

Section 9A - Gypsum Wallboard

1. GENERAL: The General Conditions and Special Conditions shall govern this section of the work.

2. MATERIALS:

   A. Gypsum Wallboard: Tapered Edge Gypsum Wallboard, 5/8" thick Gold Bond "Fire Shield, "U.S. Gypsum's "Sheetrock Firecode 60" or Bestwall "Firestop."

   B. Tape: U. S. Gypsum's "Perf-A-Tape" or approved equal.

   C. Cement: U. S. Gypsum's "Perf-A-Tape" cement or approved equal.

   D. Fasteners: Shall be U.S.G. Drywall screws as recommended by the manufacturer, or U.S.G. 1-3/8" annular ring nails.

3. WORKMANSHIP: Gypsum Wallboard and backing board shall be installed by workmen familiar with the proper installation of the product.

4. INSTALLATION: Supports not to exceed 16 inches o.c. Erect in accordance to manufacturer's recommendations, fastening all gypsum wallboard and backing board to supports with fasteners not over 7 inches o.c. on side walls. Exposed gypsum wallboard shall be tapered edge with fasteners spaced no more than 3/8 inch from edges. All heads set, taking care not to break surface of paper and left ready for taping.

5. TAPING: Follow the taping directions recommended by the wallboard manufacturer.

6. METAL ACCESSORIES: Provide USG 200-B metal trim at intersection of wallboard with other materials or at termination of wallboard. Provide USG 102 "Dur-A-Bead" corner beads unless otherwise noted.

Section 9B - Resilient Floor Coverings

1. GENERAL: The General Conditions and Special Conditions preceding this section shall govern this division of the work.

2. WORK BY OTHERS: Final Floor Cleaning, Division 1.

3. MATERIALS:

   A. Asphalt Tile: Kentile, Flintkote or approved, size 9 x 9 x 1/8 inch thick, match existing floor colors.

   B. Rubber Base: approved "Rubber Cove Base", set-on type in standard thickness 4 inch height. Color: Black.

Section 9C - Plastic Laminate Work

1. GENERAL: The General Conditions and Special Conditions shall govern this section of the work.

2. MATERIALS: 1/16" General Purpose Grade "Formica", "Micarta", "Textolite" or approved.

3. INSTALLATION: Install covering material in strict accordance with manufacturer's specifications using waterproof cement. Use full size sheets. Joints shall be at approved locations only and shall be hairline butted. Top of backsplashes and side splashes shall be "self-faced". Countertop edges, unless otherwise indicated on the drawings, shall be "self-faced."

4. CLEANING: Leave all surfaces thoroughly clean of all marks.

Section 9D - Painting

1. GENERAL: The General Conditions and Special Conditions shall govern this section of the work.

2. WORK INCLUDED: All painting and other related items including, but not limited to, the following principal items:

   A. General Painting Building "P".

   B. Preparation of galvanized surfaces to be painted and repainted.

   C. Miscellaneous Painting.

3. WORK BY OTHERS:

   Factory furnished items, shop and/or prime coat on certain items are specified in other divisions. Consult all divisions in detail.
   Cleaning of Class, Division 1.

4. GENERAL REQUIREMENTS:

   A. Finished Spaces: Wherever in the specifications the words "Finished Spaces" are used, it shall be construed to mean those spaces listed by name or number in the Finish Schedule or shown on the drawings unless specifically noted unfinished.

   B. Colors, Sheen and Texture: Color, sheen and texture for all coats will be selected by the Architect from samples prepared by the Painting Contractor. Do no work until samples have been approved.

   C. Delivery of Materials: In unbroken packages, manufacturer's original labels thereon.

   D. Preparation of Zinc Coated or Galvanized Steel: Prior to applying prime coat, all zinc coated or galvanized metal shall be degreased and prepared for painting with Neilson Chemical Company's "Galvaprep" in strict accordance with manufacturer's directions.

5. APPLICATION:

   A. General: Surfaces to be painted shall be clean and dry and free from all foreign matter, grease, oil and rust. Do not apply finishes to surfaces unless dry enough to receive the finish. Do no work when an injurious amount of dust or insects is present. Do no exterior painting during rainy or freezing weather or while surfaces are damp. Avoid painting surfaces while they are exposed to hot sun. See that proper temperature and ventilation are maintained for inside work. If surfaces are not in proper condition for painting work, the Contractor shall notify the Architect before proceeding with any work, otherwise, he will be held responsible for any poor work caused by improper surfaces. Application of first coat of paint specified herein constitutes acceptance of the surface by the Painter.

   B. Workmanship: Highest quality, performed by skilled mechanic to Architect's satisfaction. Fill all cracks, holes and other imperfections with approved material such as spackle, crack filler or putty. Use oil free putty, colored to match finish on all stained, varnished or natural finished wood work. Fill nail holes and minor imperfections after priming. Use approved oil base putty, colored to match final coat, for painted work. Seal sap and knots in painted work before priming with an approved knot sealer such as W.P. Fuller Paint Company's Knot Sealer Number 9689. Sandpaper interior work before coats as required to produce smooth, even surface for finish coat. Spread material evenly, without runs or sags. Vary color of successive coats slightly to prevent skipping. Cut sharp lines against glass and other materials. Each coat must harden before succeeding coat is applied. Rub paste wood filler, when used, across the grain as filler sets, then sandpaper to smooth surface.

   C. Texture:

      (1) Brush: All painting shall be done with a brush unless otherwise specified or approved.

      (2) Roller: All painting on gypsum board surfaces, may at Contractor's option be applied with a roller.

   D. Defective Painting Work: Repair painting work damaged during construction. At completion of work entire job in first-class condition.

6. MATERIAL:

   A. Painting: Pittsburgh Paint Company's, Pratt and Lambert, Inc!, Martin Senour's, Rodda Paint Company's, Bishop Conklin's, Olympic Stained Products Company's, Sherwin-Williams Company's or Iverson's or approved.

   B. Miscellaneous: Linseed oil shall be pure raw or boiled linseed oil. Turpentine shall be pure gum spirits of turpentine. Mineral thinner, drier, colors in oils and colors for non-oil base paints, crack fillers and spackle shall be of approved standard brands.

   C. Putty: Putty for painted work - Rodda Paint Company's No. 871, White lead paint. Putty for stained and/or varnished or natural finished work - approved oil free putty or plastic wood to colors required.

7. PRIMING AND BACKPRIMING

   A. Exposed Exterior Woodwork to be Painted: Prime one coat of Pittsburgh Paint Company's No. 1-201, Sun-Proof Exterior Control Primer on all surfaces before installation, unless otherwise specified.

   B. Interior Wood Finish to be Stained and/or Varnished: Backprime one coat of Pittsburgh Waterspar Natural Wood Seal No. 830320. Use great care so as not to get priming paint or finger marks on face of finish and plywood to be stained and varnished.

   C. Interior Wood Finish and Plywood to be Painted: Prime one coat of Pittsburgh Paint Company's 54-255 Waterspar Undercoater on all surfaces before installation unless otherwise specified.

8. Exterior Painting

   A. Exterior Woodwork to be Painted (Doors and new and old trim @ Elevations "A", "C" and "D".

      (1) Prime Coat: Rodda's #155 Exterior Control Primer
      (2) Body Coat: Rodda's #130 Exterior Trim Paint
      (3) Finish Coat: Rodda's 100% Pure Paint

   B. Exterior Woodwork to be stained: Includes, but not limited to Exterior Elevations "A", "C" and "D" (New soffits , siding and fascias):

      One coat of Olympic Linseed Oil Base Stain, 4 sides, prior to applying to building. One coat after application.

   C. Exterior Metalwork - Old Work (Spot Prime and Finish)

      (1) Prime Coat: Shop coat specified in other divisions or Pittsburgh Paint Company's No. 8-2 Ironhide Inhibitive Red Primer for non-galvanized work and Pittsburgh Paint Company's No. 8-10 zinc dust galvanized iron primer for galvanized work. Remove rust spots and touch up abrasions to shop coat before applying body coat.

      (2) Body Coat: Pittsburgh Paint Company's Ironhide Metal Protective Paint reduced as recommended by the manufacturer.

      (3) Finish Coat: Pittsburgh Paint Company's Ironhide Metal Protective Paint as it comes from the manufacturer.

9. Interior Painting

   A. New Gypsum Wallboard and hardboard indicated semi-gloss enamel (S.G.E.) in the Finish Schedule: Two Coats:

      (1) Prime Coat: Rodda's #7700 "Roseal" PVA Sealer with ground walnut shells.

      (2) Finish Coat: Rodda 7841 Eggshell.

   B. Woodwork, Wood Trim and Interior Wood Doors indicated semi-gloss enamel (S.G.E.) in the Finish Schedule: New Work - Three Coats; Old Work - Two Finish Coats:

      (1) Prime Coat: Pittsburgh Paint Company's No. 54-255 Waterspar Undercoat.

      (2) Body Coat: A mixture of 50 percent Pittsburgh Paint Company's Enamel Undercoater No. 54-255 and 50 percent Pittsburgh Paint Company's Wallhide Semi-Gloss Enamel, reduced as recommended by the manufacturer.

      (3) Finish Coat: Pittsburgh Paint Company's Wallhide Semi-Gloss, as it comes from the manufacturer.

   C. Existing hardboard indicated Flat Wall Paint (FWP) in the Finish Schedule - Two coats:

      (1) Body Coat: Rodda's Latex, reduced as recommended by the manufacturer.

      (2) Finish Coat: Rodda's Latex, as it comes from the manufacturer.

   D. Custom Cabinets and all exposed portions of casework shall be three coats:

      (1) Stain: Rodda's Modern Wood Stains, color as selected.

      (2) Prime Coat: Rodda's #66 high solids lacquer sanding sealer.

      (3) Body Coat: Rodda's high solids clear lacquer.

      (4) Finish Coat: Rodda's high solids clear lacquer.

DIVISION 10 - SPECIALTIES

Section 10A - Tackboard @ Display Case

1. GENERAL: The General Conditions and Special Conditions shall govern this division of the work.

2. MATERIAL: 1/4" vinyl surfaced, burlap backed "Color-Cork" Gotham, Weber Costello or approved.

3. INSTALLATION: Installation shall be by the manufacturer's recommended procedure.

DIVISION 11 - (None in this specification)

DIVISION 12 - (None in this specification)

DIVISION 13 - (None in this specification)

DIVISION 14 - (None in this specification)

DIVISION 15 - MECHANICAL - (See Mechanical Drawing M-1)

DIVISION 16 - ELECTRICAL

1. General - The General Conditions and Special Conditions shall govern this division of the work.

2. Perform the electrical work shown or indicated on the drawings, including all materials, labor and incidentals to complete the work in a safe, finished, neat and workmanlike manner.

3. Conceal all wiring except as noted on the drawings. Use electrical metallic tubing except under floors, in the earth, or concrete use galvanized rigid conduit. Minimum wire size is #12 AWG copper with code grade insulation, except where noted on the drawings. In those cases where exposed conduit is permitted, the installation shall be parallel to or at right angles with the structural members of the building, and securely fastened. Where exposed to public view, the conduits shall be painted the same color as the surrounding material.

4. All electrical equipment shall be new and U.L. approved. The Contractor shall guarantee the materials and workmanship for a period of one year after acceptance for normal usage, and shall replace or correct any defects promptly without cost to the owner.

5. The Electrical Contractor shall inspect the site to determine the existing working conditions; comply with all electrical code requirements, latest revisions of each; obtain all permits and inspections and include the cost in the contract sum.

6. All fixtures shall be cleaned and complete with lamps. Connect electrically all equipment shown. The Electrical Contractor shall furnish and install the magnetic starters and disconnects to the mechanical equipment and make the power and control wiring connections as indicated. Fans and motors shall be furnished and mounted by the mechanical contractor.

7. The work shall not include furnishing meters, current transformers, fans, motors, kitchen equipment, heating and ventilating equipment, portable plug-in equipment and similar type items unless indicated on the drawings.

8. Incandescent lamps shall be G.E., Sylvania, or Westinghouse, 125 volts of the wattage indicated. Fluorescent lamps shall be cool white, G.E., Sylvania, or Westinghouse. Ballasts shall be high power factor, CBM or ETL either fused dry type or G.E. Bonus line. Sound rating shall be "B" or better and the fixture shall be considered defective if the noise is excessive.

9. The Electrical Contractor shall return a marked up set of clean, neat, legible drawings to indicate any changes or deviations necessary for the work as indicated. The Contractor shall furnish at the completion, a hard bound folder of catalog data of all equipment used on the job for future use by the school district for maintenance or replacement of equipment.

10. All cabinets, safety switches, magnetic starters, time switches, and other apparatus used for the operation and control of circuits, appliances, and equipment installed under this contract shall be properly identified by means of neatly stenciled or printed labels or embossed nameplates.

11. The electrical feeders, panels, branch circuits shall be of the voltage as indicated on the drawings.

12. Switches and receptacles shall be as indicated on the drawings. Cover plates shall be stainless steel in finished areas, in unfinished areas they may be galvanized.

13. No beams shall be cut without specific approval of the Architect. This Contractor shall call to the attention of the Architect any errors or discrepancy coming to his attention, and shall not proceed with the work with any questionable items until clarification has been made.

14. Work to include the following:

   A. Replace incandescent lighting fixtures with fluorescent fixtures as indicated on the drawings.

   B. Install Minneapolis -Honeywell clocks, buzzers, and bells as indicated, and connect to master clock and inter-connect panel in the administration building.

   C. Provide boxes with blank covers and conduit stubs to the attic for intercommunications outlets.

   D. Reconnect, relocate, remove, reinstall and rewire existing fixtures and devices as required for the new construction.

   E. Connect feeders and branch circuits as required and as indicated on the drawings.

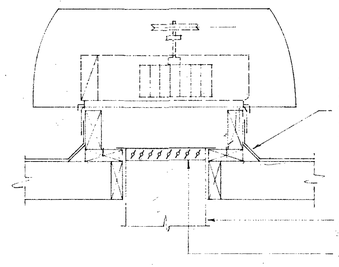
REGISTERED ARCHITECT
JACK A. EDSON
MEDFORD, OREGON
STATE OF OREGON

SPECIFICATIONS

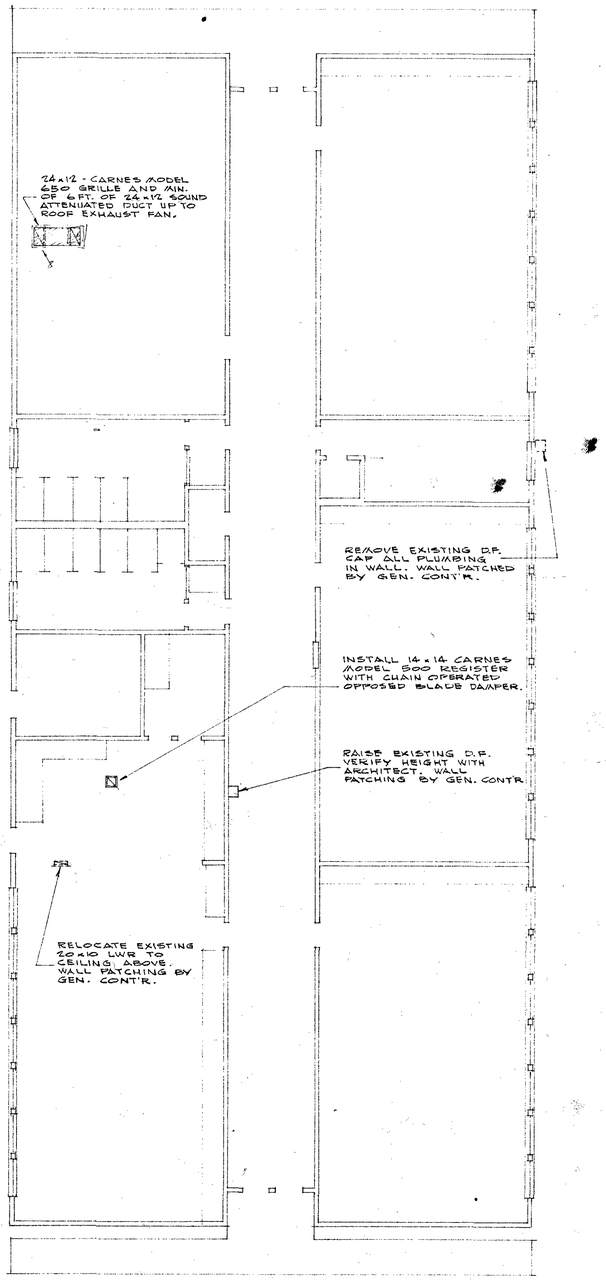
EVERGREEN SCHOOL - REMODEL - ORIGINAL BUILDING
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

4



ROOF EXHAUST FAN
INSTALLATION DETAIL
NOT TO SCALE



FLOOR PLAN
SCALE: 1/8" = 1'-0"

SPECIFICATIONS:

GENERAL PROVISIONS:
Instruction to bidders, General Conditions and Supplementary General Conditions are a part of these specifications.

SCOPE OF WORK:
Provide complete Mechanical system as shown.

ROUGHING-IN:
Includes roughing-in and final connection for equipment furnished under other sections or contracts, in accordance with roughing-in drawings.

DRAWINGS:
Examine all Architectural, Electrical and Structural drawings.

WORK COOPERATIVE:
Coordinate work for rapid completion of the entire project.

REGULATIONS AND PERMITS:
Conform with applicable codes and regulations. Obtain and pay for all permits, licenses and certificates of approval.

MATERIAL:
All materials, full weight, standard in everyway and in first-class condition, and new. Capacities, sizes and dimensions are minimum.

APPROVALS:
Trade names and catalog numbers as stated herein are intended to indicate grade or quality of equipment and materials desired. Request for approval of material and equipment submitted in triplicate to the Architect. See Supplementary General Conditions.

WORKMANSHIP:
Work by competent workmen in maner acceptable to Architect.

GUARANTEES:
Guarantee against defects in materials or workmanship for one-year from date of final acceptance of building. Replace free of expense to Owner.

FIELD MEASUREMENTS:
Verify measurements at building site and report discrepancies to Architect before beginning work.

SHOP DRAWINGS:
Submit shop drawings in accordance with General and Special Conditions, and secure approval prior to fabrication and/or installation of equipment.

CUTTING AND PATCHING:
Required cutting or patching of construction only under direction of Architect. Patch as directed.

ROOF EXHAUST FAN:
Description - Full housed belt-driven centrifugal type enclosed scrowl. Fiberglass housing of weatherproof ventilated type, removable for service to motor, bearings and belt. Adjustable sheave on motor for fan speed adjustment. Integral motor disconnect provision in motor housing. Complete with manual switch.
1/4 HP motor.
Capacity - 1000 CFM Pace CRE-13 Skycap.
Manufacturer - Pace CRE-Skycap, equal Western Blower.

REGISTERED PROFESSIONAL ENGINEER 5153 OREGON JULY 9, 1965 THEODORE W. RONER

REGISTERED ARCHITECT JACK A. EDSON MEDFORD, OREGON STATE OF OREGON

MECHANICAL PLAN & SPECIFICATIONS

EVERGREEN SCHOOL REMODEL / ORIGINAL BUILDING
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT . OREGON

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

M1

SYMBOLS

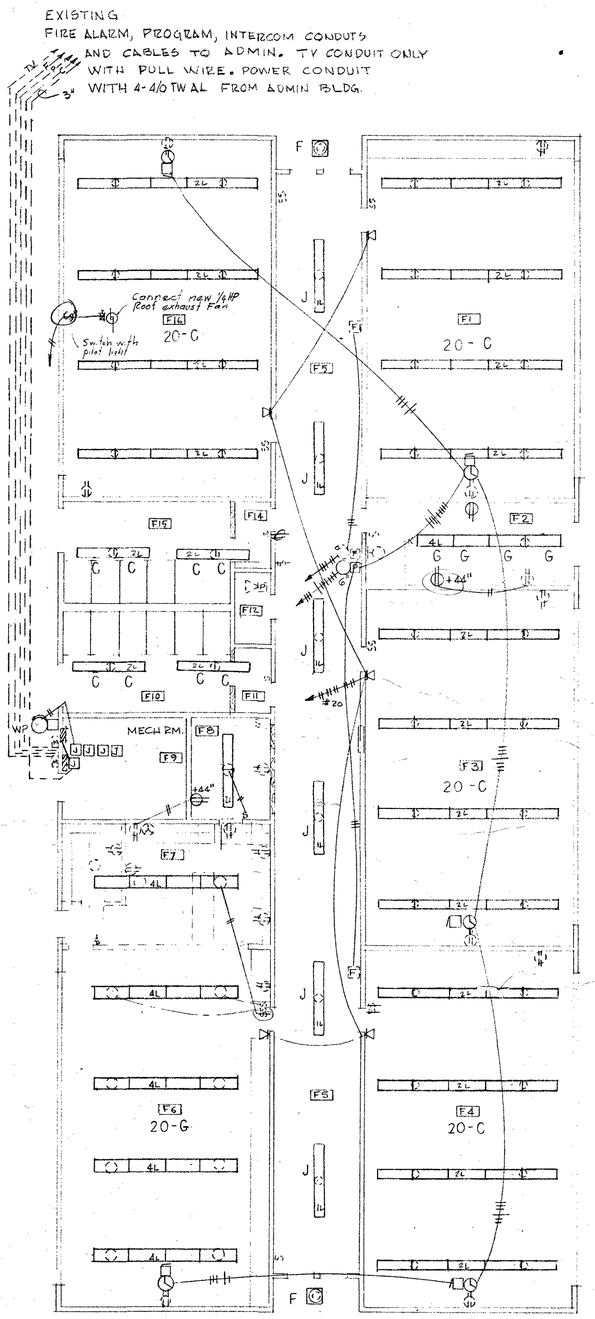
- EXISTING DUPLEX CONVENIENCE RECEPTACLE. CHANGE TO 3WIRE GROUNDING TYPE
- EXISTING WALL SWITCH
- WALL SWITCH. QUIET TYPE, SPEC. GRADE 20AMP 120VOLT, IVORY COLOR. SMOOTH PLASTIC COVER
- SPEAKER OUTLET BOXES. BLANK COVERS ONLY
- PROGRAM CLOCK WITH BUZZER. SAME AS FURNISHED IN NEW BUILDING
- PROGRAM BELL, 6" SIZE, TO MATCH PROGRAM SYSTEM
- EXISTING FIRE ALARM. CONNECT TO NEW SYSTEM
- FIRE ALARM CALL STATION, EXISTING. CONNECT TO NEW SYSTEM. CHANGE OUT AS REQUIRED TO OBTAIN ANNUNCIATION IN ADMIN. BLDG.
- DUPLEX CONVENIENCE RECEPTACLE, 15A 120V, SPEC. GRADE, IVORY COLOR, SMOOTH PLASTIC COVER.
- JUNCTION BOXES
- WP PROGRAM BELL, WEATHERPROOF, 10"
- EXISTING RANGE OUTLET. CONNECT AS REQUIRED FOR ART ROOM KILN.
- EXISTING LIGHTING FIXTURE
- RECESSED LIGHTING FIXTURE. INSTALL AT SAME LOCATION AS AN EXISTING FIXTURE.
- EXISTING BRACKET LIGHT
- 2L FLUORESCENT FIXTURE 2 LAMP FOUR FOOT
- 4L FLUORESCENT FIXTURE 4 LAMP FOUR FOOT
- EXISTING WIRING
- WALL OR CEILING WIRING
- UNDERFLOOR OR UNDERGROUND WIRING

FIXTURE SCHEDULE

TYPE	DESCRIPTION
C	FLUORESCENT LIGHTING FIXTURE FOUR FOOT TWO LAMP, MATCH THE EXISTING FIXTURES IN THE NEW BUILDING. ACRYLIC LENS, MINIMUM WIDTH 14"
G	FLUORESCENT LIGHTING FIXTURE FOUR FOOT FOUR LAMP MATCH THE EXISTING FIXTURES IN THE NEW BUILDING ACRYLIC LENS, MINIMUM WIDTH 14"
F	RECESSED INCANDESCENT, FLAT FRESNEL LENS, MATTE WHITE TRIM, 4½" DEEP, 150 W LAMP, PRESCOLITE 1015-6714, MARCO ECJ-150 M26P
J	FLUORESCENT LIGHTING FIXTURE, CORRIDOR UNIT, ONE LAMP, EIGHT FOOT, ACRYLIC WESTINGHOUSE 2C-140A, WAKEFIELD PHR118-TAA.

NOTES:

1. CRAWL HOLE TO ATTIC IN MECH ROOM
2. REMOVE EXISTING CLOCKS. RETURN TO SCHOOL DISTRICT
3. CONNECT NEW CLOCKS AND BUZZERS TO NEW SYSTEM WITH MASTER IN ADMIN.
4. CHANGE FIRE ALARM BREAK GLASS STATIONS TO SAME AS NEW SYSTEM. CHANGE OUT ALARM DEVICE TO SAME AS NEW SYSTEM.
5. ADD EXTERIOR AND CORRIDOR PROGRAM ALARM DEVICE. EXTERIOR TO MOUNT AT EAVES INTERIOR SAME HEIGHT AS EXISTING.
6. LEAVE RANGE RECEPTACLE FOR ART ROOM KILNS.
7. DISCONNECT, REROUTE, REWIRE, REMOVE, REINSTALL ELECTRICAL WIRING, DEVICES AND FIXTURES AS REQUIRED FOR THE NEW CONSTRUCTION.
8. REMOVE HOT WATER BOOSTER AND CONTROLS FROM MECH RM.
9. REMOVE METERS, SERVICE ENTRANCE CONDUITS, WIRING, EXTERIOR BOXES, ROOF JACKS, OF EXISTING MAIN WIRING. REARRANGE AS REQUIRED FOR 120/208 3Ø FOUR WIRE FOR BEST BALANCE WITH EXISTING PANELS. CONNECT NEW SERVICE TO EXISTING PANELS.
10. INSTALL JUNCTION BOXES IN MECH. ROOM 10x10x4 FOR FIRE ALARM, PROGRAM, AND INTERCOM.
11. CONCENTRIC RING FIXTURES AND CORRIDOR FIXTURES, REST ROOM & OTHER REMOVED OR REPLACED FIXTURES & HARDWARE TO BE PROPERTY OF CONTRACTOR
12. PROGRAM, INTER COM, FIRE ALARM WIRING TO BE IN WALLS OR ATTIC SPACE.



EXISTING CLASSROOM BUILDING SCALE ⅛"=1FT-0"

REGISTERED PROFESSIONAL ENGINEER L. S. Horton OREGON JULY 9 1951 L. S. HORTON

REGISTERED ARCHITECT · STATE OF OREGON · JACK A. EDSON MEDFORD, OREGON

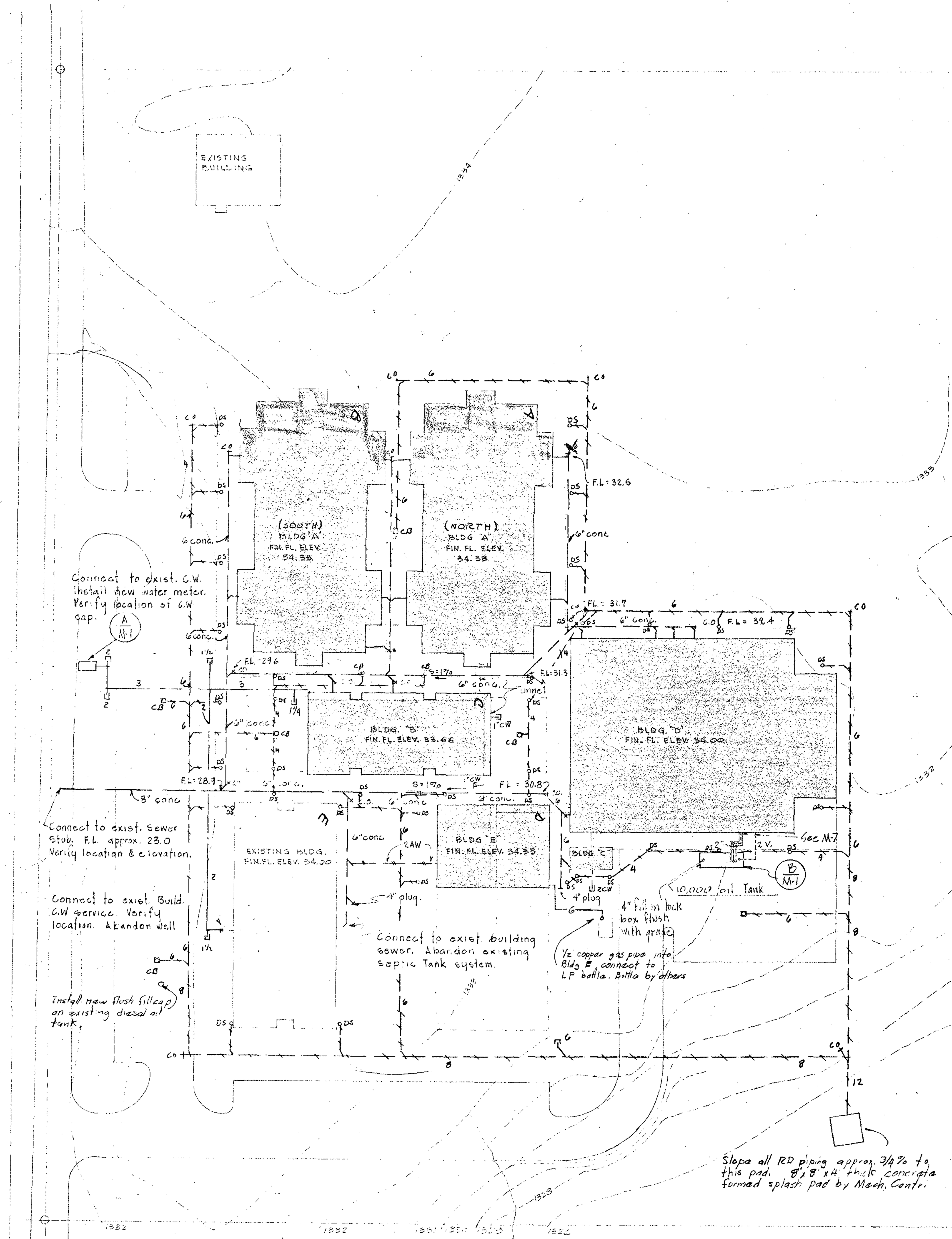
ELECTRICAL PLAN · FIXTURE SCHEDULE

EVERGREEN SCHOOL
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT OREGON

LSH
6512

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

E1
OF 1



SITE PLAN

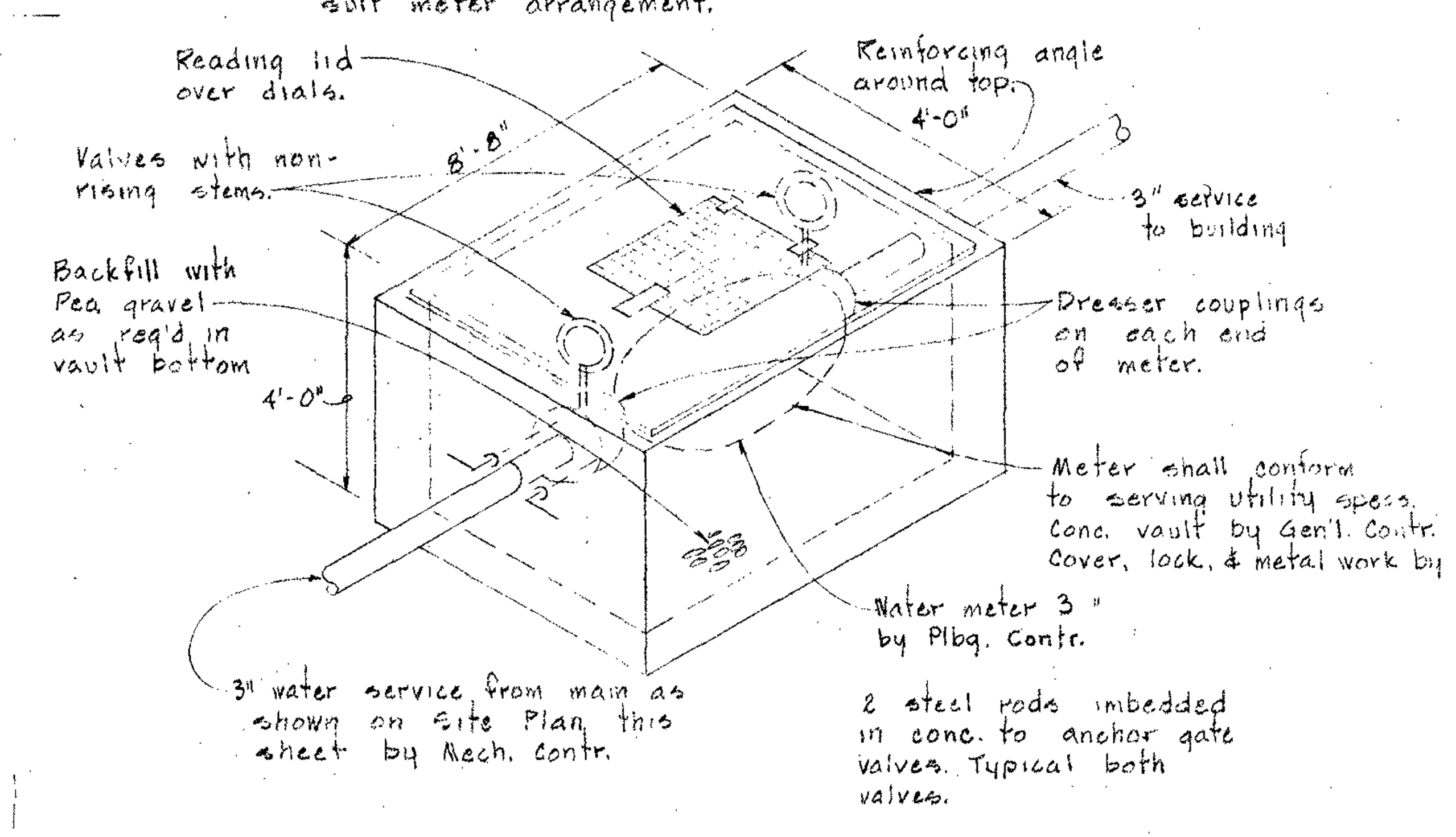
1" = 40'-0"

NORTH

GENERAL NOTES (SITE PLAN)

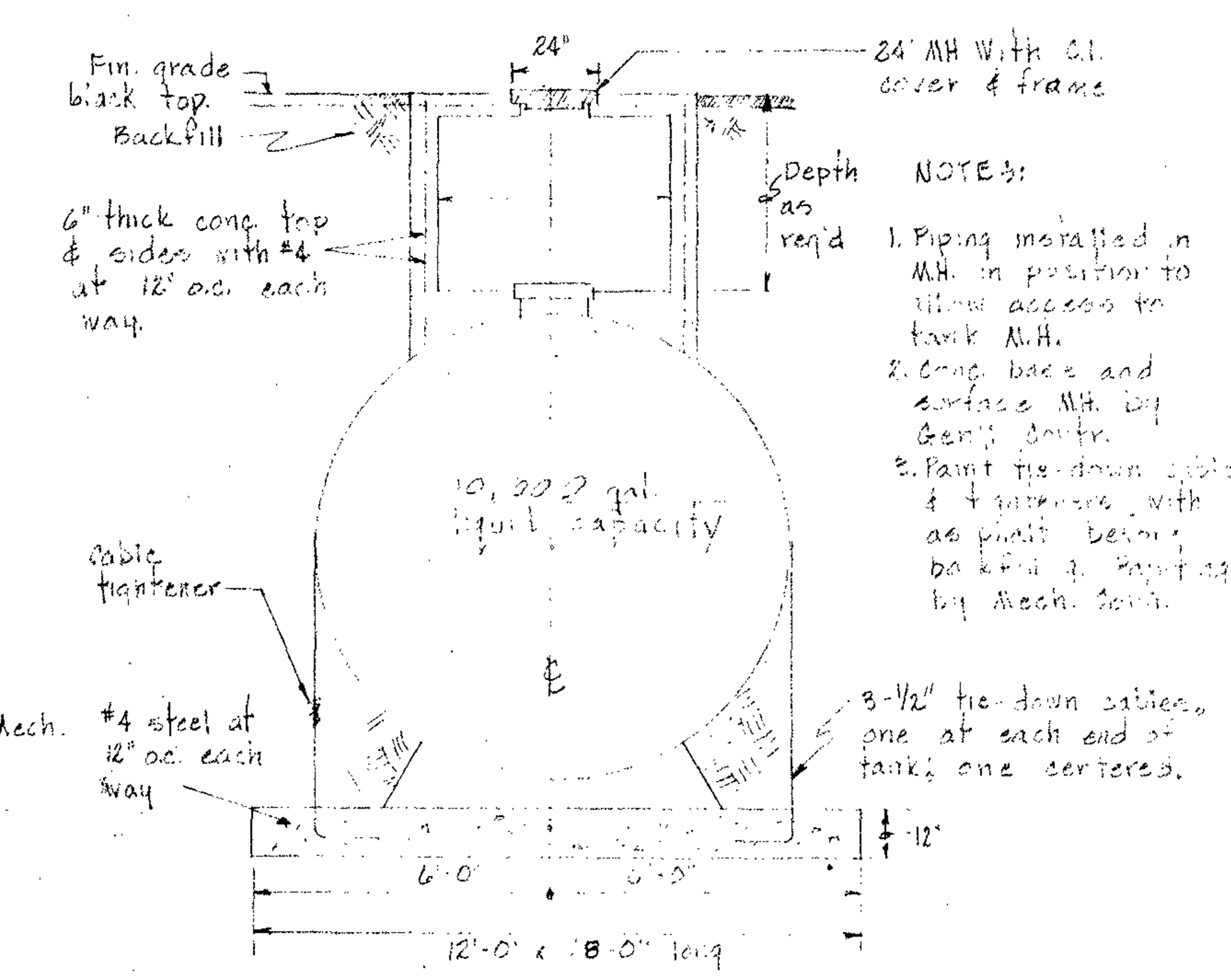
1. All waste pipe outside of building lines to be sloped at 1% minimum unless otherwise noted.
2. Provide 0.05 ft. drop through all sanitary sewer MH.'s.
3. See "AREA FOUNDATION PLANS" for waste and roof drain piping continuation.
4. Plumbing Contractor shall backfill with pea gravel all pipe trenches over excavated or above original grade.
5. For piping in tunnels, refer to individual Building Foundation Plans.

Note:
Vault shall have 4" concrete walls with #4 rebars 12" o.c. each way. Provide 3/8" checked steel cover to set flush with finish grade. 24"x24" hinged access door with locking provision shall be located to suit meter arrangement.



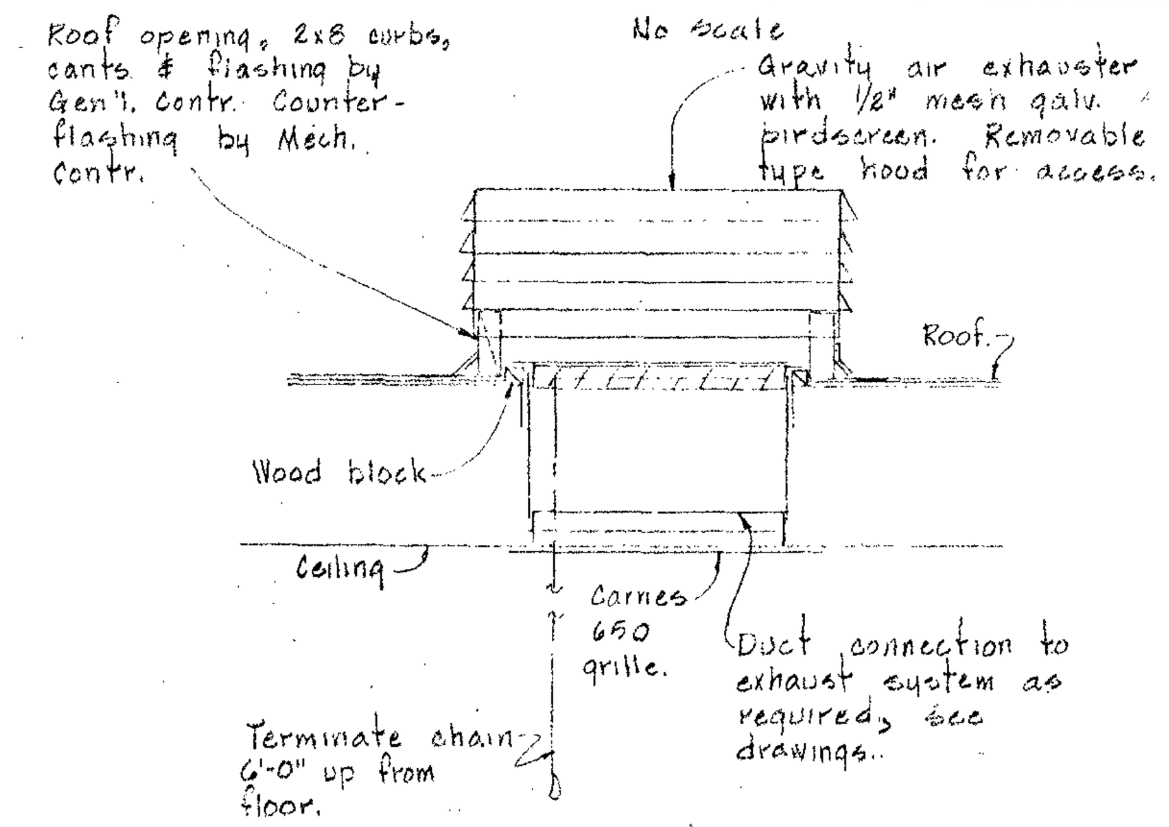
WATER METER VAULT DETAIL (A / M-1)

No Scale



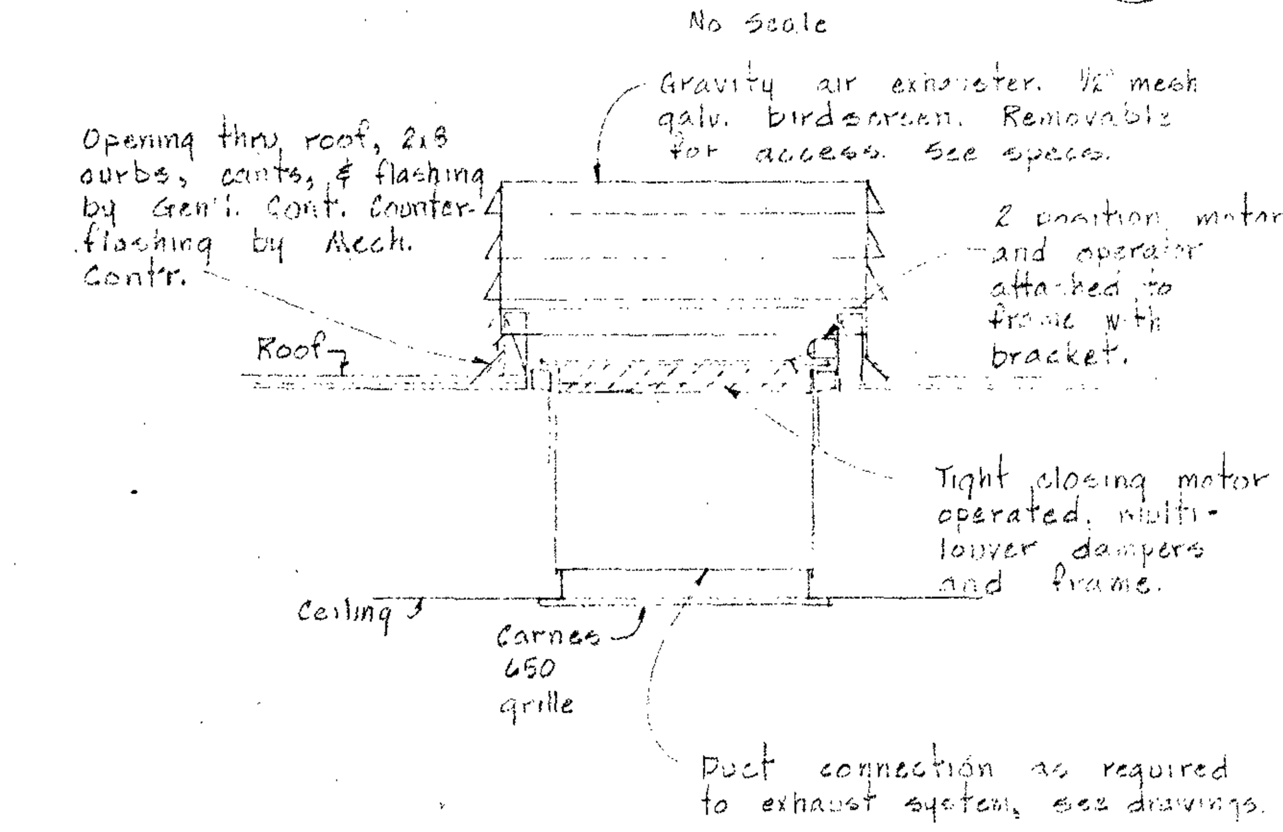
OIL TANK ANCHOR DETAIL (B / M-1)

No Scale



TYPICAL RV-1 INSTALLATION DETAIL (C / M-1)

No Scale



TYPICAL RV-2 INSTALLATION DETAIL (D / M-1)

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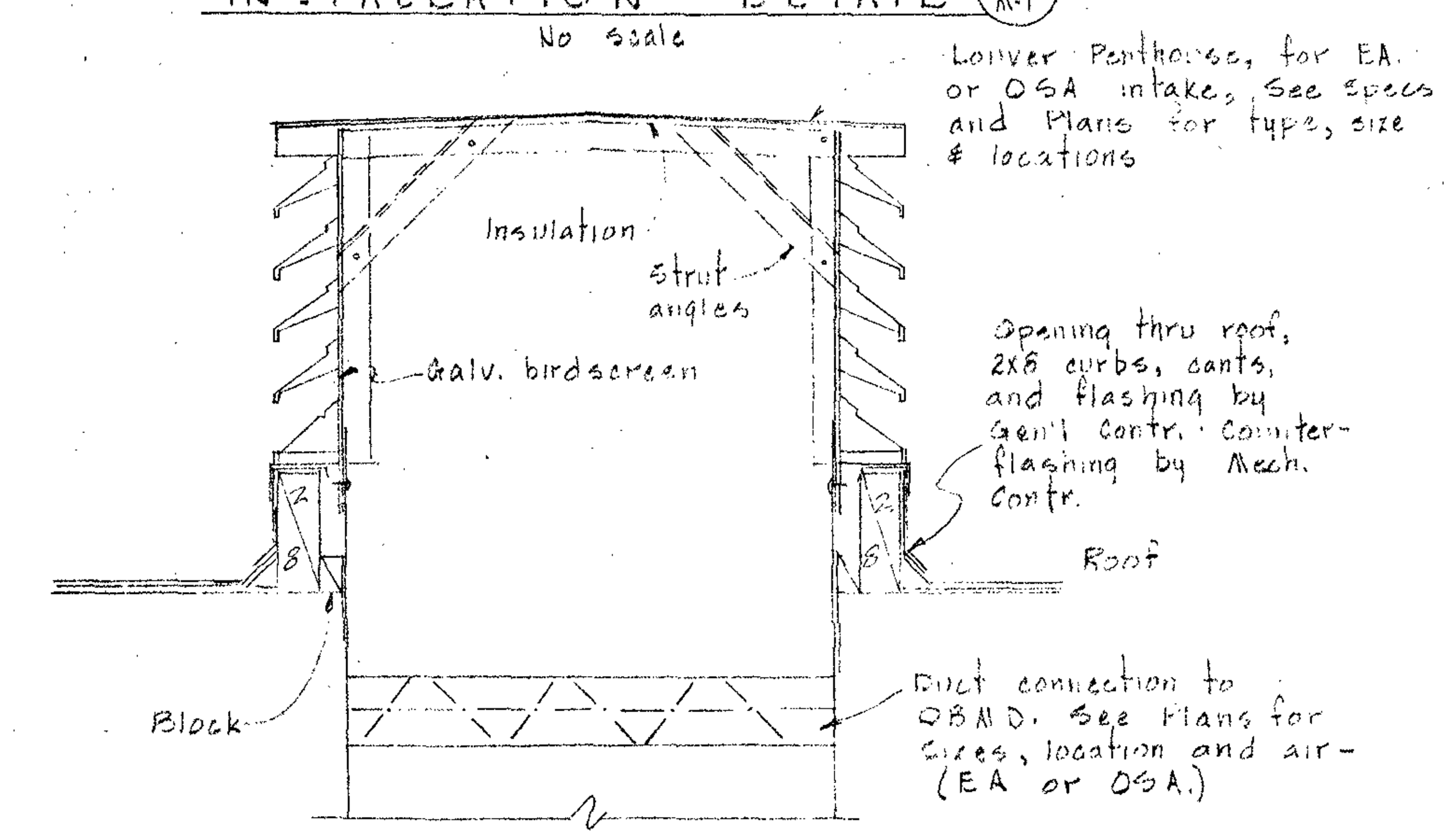

TYPICAL RV-3 INSTALLATION DETAIL (E / M-1)

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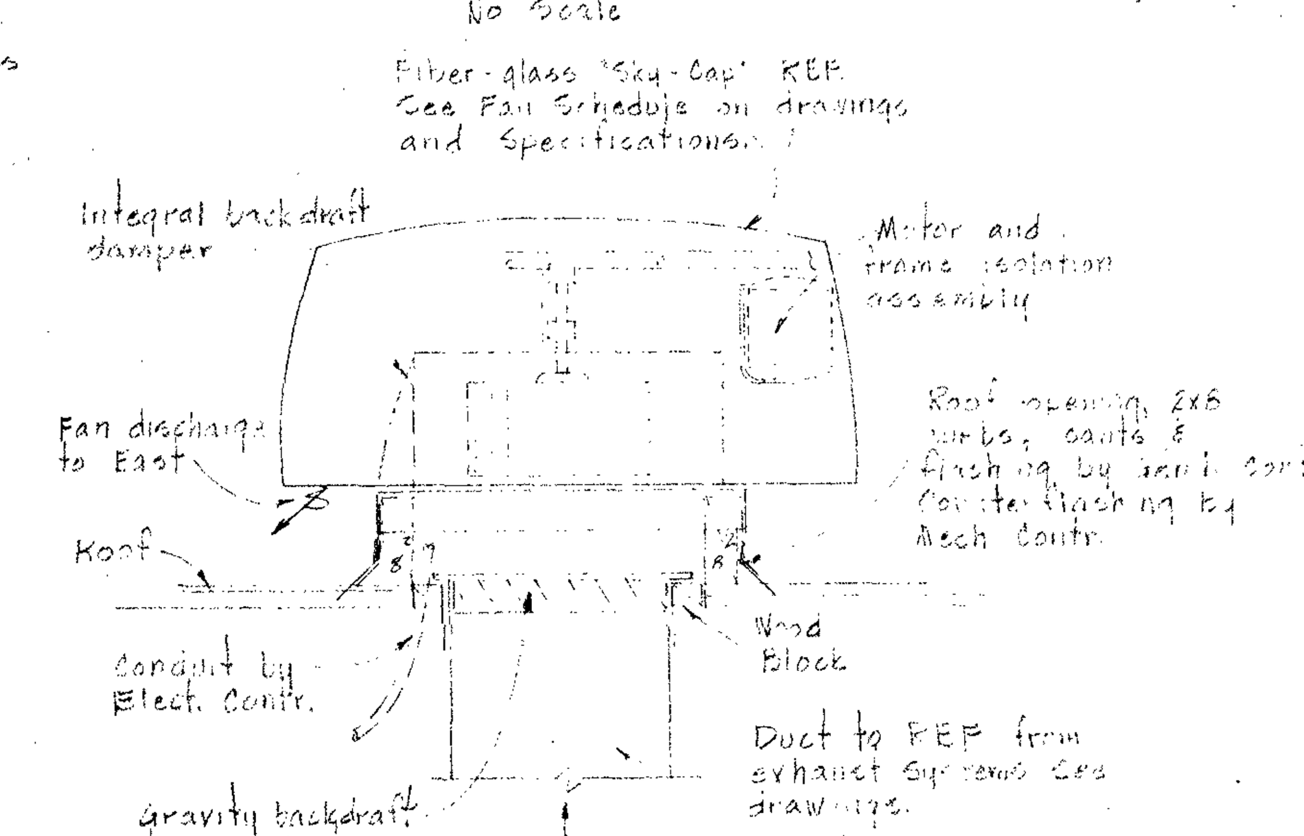


TYPICAL REF INSTALLATION DETAIL (F / M-1)

No Scale

GENERAL NOTES

1. Multi-zone, fan unit, and ventilating unit rooms shall be made air tight and used for air mixing plenums. See Architectural structural details.
2. All concrete work by General Contractor unless noted otherwise.
3. See Architectural plans for finish grade elevations of site and Buildings. Also refer to Site Preparation Plans for grading and fill work.
4. Verify exact location and placement of all outside air and exhaust air louver openings with Architect before installations.
5. Entire domestic water supply piping system shall be disinfected as approved by State Plumbing Authorities, prior to use.
6. All MZ unit individual zones read as shown on Drawing at unit discharge section.
7. Mech. Contr. shall supply all control bds. in Boiler & Mech. Rooms for mounting of control devices.
8. See Archit'l Floor Plans of Penthouses and Mech. Room Lofts & for access locations. Install equip't, piping & ducts to obtain clear passage around access.

SYMBOLS (CONT.)

	Round diffuser
140	140°F Hot water
	Acid waste
A	Compressed Air
	Sound attenuated duct line drawing
	Sheet metal duct line drawing
ODS	Down Spout. Mech connect & extend RD pipe 4"
CB	Catch Basin Mech connect & extend RD pipe
1/2	Pipe capped for future, Size

SYMBOLS

100	Room Number
1 / M-1	Detail or Section Number
	Mechanical Sheet Number
CW	Cold Water Pipe
HW	Hot Water Pipe
HWR	Hot Water Recirculating Pipe
W	Waste Pipe
V	Vent Pipe
	Pipe Up
	Pipe Down
RD	Roof Drain Pipe
HS	Heating Water Supply
HR	Heating Water Return
O	Oil Pipe
CO	Plumbing Cleanout
S = 1%	Slope or Pitch
A	Concrete Pipe Anchor
	Pipe Pitched Down
X	Pipe Anchor
RV	Relief Valve
	Strainer, Union Adjusting Cock
	Valves; Gate Globe, Check
	Automatic Valve
	Pressure Gauge
WH	Wall Hydrant
HB	Hose Bibb
DV	Drain Valve
AAV	Automatic Air Vent Valve
MH	Manhole
VTR	Vent Thru Roof
CI	Cast Iron
FD	Floor Drain
FHC	Fire Hose Cabinet
20x6	Grille Size: Width x Depth
300	Air Volume in Cubic Feet per Min.
	Room or Zone Thermostat
REF	Roof Exhaust Fan
RV	Roof Ventilator
AD	Automatic Damper
ZBD	Zone Balancing Damper
	Wall Supply Grille
	Wall Return or Exhaust Grille
	Ceiling Supply Grille
	Ceiling Return or Exhaust Grille
	Supply Duct Up
	Supply Duct Down
	Return Duct Up
	Return Duct Down
	Sound Attenuated Duct
	Canvas Duct Connection
	Splitter Damper in Duct
ZMD	Zone Mixing Damper
OBMD	Opposed Blade Mixing Damper
FU	Fan Unit
	Cabinet Fan Unit

Bulletin No. 2 Item No. 31 CFU

REGISTERED PROFESSIONAL ENGINEER 5453 OREGON JULY 9, 19__ THEODORE W. RONER

MARQUESS & MARQUESS
CONSULTING ENGINEERS
HOLDY BUILDING · MEDFORD, OREGON

SITE PLAN & DETAILS

EVERGREEN SCHOOL

JOSEPHINE COUNTY UNIT SCHOOL DISTRICT OREGON

D.D.	
R.F.A.	
6512	
OCT 14 66	

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

M-1

HEATING AND VENTILATING SCHEDULE

UNIT	UNIT USE & LOCATION	UNIT CFM	MAXIMUM FAN O.V. FPM	FAN WHEEL TYPE	EXT. * STATIC PRESSURE	MOTOR HP †	VOLTS-PHASE	HEATING COIL ENTERING AIR	HEATING COIL LEAVING AIR	UNIT CONTROL	UNIT ACCESSORIES	REMARKS	MANUFACTURER & MODEL NUMBER
MZ-1	Bldg. B	5,050	1200	FC	5/8"	5	208 V. 3 ph.	55°	130°	T.S.-1	Vee Filter Mixing Box	Space for future cooling coil. See Dwg. for arrangm't.	Pace B-14
MZ-2	Bldg. A south	11,300	1650	FC	5/8"	10	208 V. 3 Φ	55°	130°	T.S.-2	Vee Filter Mixing Box	Space for future cooling coil. See Dwg. for arrang't.	Pace B-19
MZ-3	Bldg. A north	11,300	1650	FC	5/8"	10	208 V. 3 Φ	55°	130°	T.S-3	Vee Filter Mixing Box	Space for future cooling coil. See Dwg. for arrang't.	Pace B-19
HV-1	Bldg. D MP	9,750	1600	FC	1/2"	5	208 V. 3 Φ	55°	130°	T.S.-4	Vee Filter Mixing Box		Pace A-24 V
HV-2	Bldg. D Cafet.	2,800	1640	FC	1/2"	1	208 V. 3 Φ	55°	130°	T.S.-5	Flat Filter		Pace B-9
HV-3	Bldg. D Girls PE	1,680	1600	FC	1/2"	1/2	208 V. 3 Φ	70°	130°	T.S.-6	Flat Filter		Pace B-8
HV-4	Bldg. D Boys PE	2,100	1600	FC	1/2"	3/4	208 V. 3 Φ	70°	130°	T.S.-7	Flat Filter		Pace A-11
HV-5	Bldg. D Kitch.	2,100	1600	FC	1/2"	3/4	208 V 3 Φ	10°	130°	T.S.-8	Flat Filter		Pace A-11
HV-6	Bldg. E	3,340	1600	FC	1/2"	1	208 V. 3 Φ	See Duct Coil Schedule		T.S.-9	Vee Filter	Outside air damper set 15% min. Provide space for future cool'g	Pace A-14
CFU-1	Bldg. A south	11,300	1650	BI	3/8"	5	208 V. 3 Φ	—	—	T.S.-2			Pace B-19 BI
CFU-2	Bldg. A north	11,300	1650	BI	3/8"	5	208 V. 3 Φ	—	—	T.S.-3			Pace B-19 BI
FU-1	Bldg. B	5050	700	centrifug. air foil	1/2"	2	208 V. 3 Φ	—	—	T.S.-1	Class I Belt guard	Arrangm't. 9 27" min. wheel dia.	Aladdin N-Line size 270
REF-1	Bldg. B gen'l. exhst.	580	1600	FC	1/4"	1/4	120 V. 1 Φ	—	—	T.S-1			Pace CRE-8
REF-2 REF-3	Bldg. A south	160	1000	FC	1/4"	1/6	120 V. 1 Φ	—	—	T.S.-2			Pace CRE-6
REF-4 REF-5	Bldg. A north	160	1000	FC	1/4"	1/6	120 V. 1 Φ	—	—	T.S.-3			Pace CRE-6
REF-6	Bldg. D girls' PE	1,700	1625	FC	1/4"	1/2	208 V. 3 Φ	—	—	T.S.-6			Pace CRE-13
REF-7	Bldg. D boys PE	2,260	1500	FC	1/4"	1/2	208 V. 3 Φ	—	—	T.S-7			Pace CRE-16
REF-8	Bldg. D range hood	2,200	1550	BI	3/8"	1/2	208 V. 3 Φ	—	—	ON-OFF sw. / pilot light		Heavy ga. galv. steel weather cover	Pace CRE-15 B
REF-9	Bldg. D dishwr. exht.	580	1600	FC	1/4"	1/3	120 V. 1 Φ	—	—	ON-OFF sw. with pilot light			Pace CRE-8
REF-10	Bldg. D Kitch. exhst.	380	1600	FC	1/4"	1/4	120 V. 1 Φ	—	—	T.S.-8			Pace CRE-6
REF-11, 12, 13, 14	Bldg. A south	290	1200	FC	1/4"	1/4	120 V. 1 Φ	—	—	T.S.-2			Pace CRE-6
REF-15, 16, 17, 18	Bldg. A north	290	1200	FC	1/4"	1/4	120 V. 1 Φ	—	—	T.S-3			Pace CRE-6
REF-19	Bldg. E Science exhst.	1625	1600	FC	1/4"	1/2	208 V. 3 Φ	—	—	ON-OFF sw. with pilot light			Pace CRE-13
REF-20	Bldg. C toilets	160	1000	FC	1/4"	1/6	120 V. 1 Φ	—	—	T.S.-9			Pace CRE-6
REF-21	Bldg. C toilets	160	1000	FC	1/4"	1/6	120 V. 1 Φ	—	—	T.S.-9			Pace CRE-6
KEF-22	Bldg. D attic space	2500	1600	FC	1/4"	1/2	208 V. 3 Φ	—	—	Room therm. set 80°.			Pace CRE-16

* External static pressure includes filters, dampers & duct system; excludes unit & coil static pressure drops.

† Motor horsepowers shown are minimum.

PUMP SCHEDULE

PUMP NUMBER	USE AND LOCATION	CAPACITY GPM	HEAD FEET	PUMP RPM	MOTOR VOLTS-PHASE	MOTOR HP	PUMP TYPE	MANUFACTURER & MODEL NUMBER	REMARKS
P-1	Main heat boiler room.	160	85	1750	208V 3 Φ	7 1/2	Base Mounted	Bell & Gossett 1510 2" BB - 9 1/2" trim	Type 1, see Specs.
P-2	Main heat boiler room.	"	"	"	"	"	"	"	Type 1, see Specs.
P-3	Domestic water boiler room.	80	8	"	120V 1 Φ	1/4	Pipe Mounted Booster	Bell & Gossett LD-3	Type 2, see Specs.
P-4	Hot water recirc. boiler room.	10	20	"	120V 1 Φ	1/6	Pipe Mounted Booster	Bell & Gossett 1" HV	Type 2, see Specs.

MZ-1 ZONE AIR VOLUME MIXING & BALANCING DAMPER SIZE.

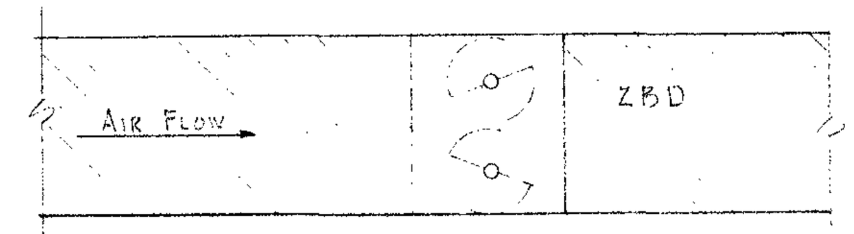
ZONE NUMBER	AIR VOLUME CFM	MIXING DAMPER SIZE	BALANCING DAMPER SIZE.
1	500	7 x 24	9 x 12
2	350	6 x 24	12 x 8
3	695	10 x 24	10 x 16
4	2320	32 x 24	32 x 14
5	390	6 x 24	6 x 18
6	790	12 x 24	24 x 10

MZ-2 & MZ-3 ZONE AIR VOLUME MIXING & BALANCING DAMPER SIZE.

ZONE NUMBER	AIR VOLUME CFM	MIXING DAMPER SIZE	BALANCING DAMPER SIZE
1	1280	9 x 32	32 x 10
2	1280	9 x 32	9 x 28
3	1280	9 x 32	9 x 28
4	1280	9 x 32	9 x 28
5	1280	9 x 32	9 x 28
6	1280	9 x 32	9 x 28
7	1280	9 x 32	9 x 28
8	240	4 x 32	6 x 12
9	385	4 x 32	6 x 15
10	425	4 x 32	6 x 16
11	1280	9 x 32	32 x 10

DUCT COIL SCHEDULE

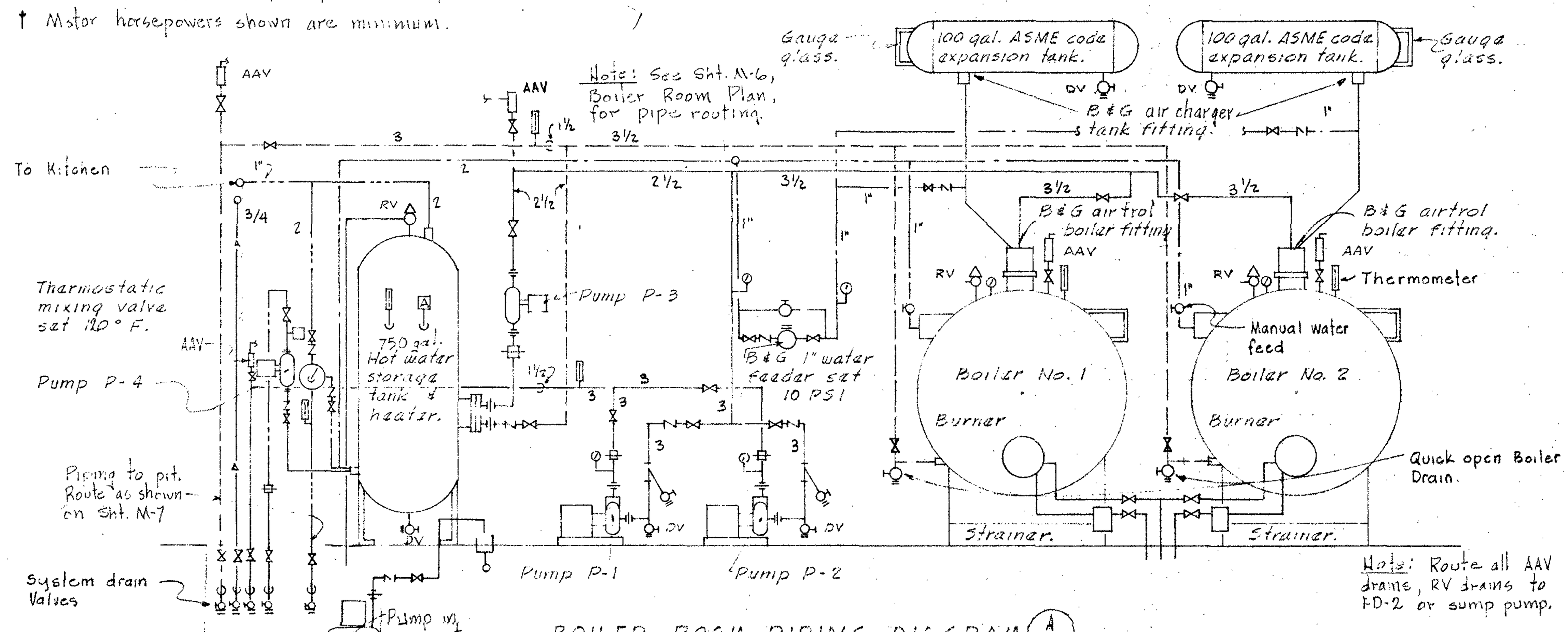
COIL NUMBER	COIL SIZE	CFM	TEMP. RISE
DC-1	10 x 6	270	45°-130°
DC-2	8 x 8	195	45°-130°
DC-3	20 x 12	1250	45°-130°
DC-4	20 x 16	1625	45°-130°



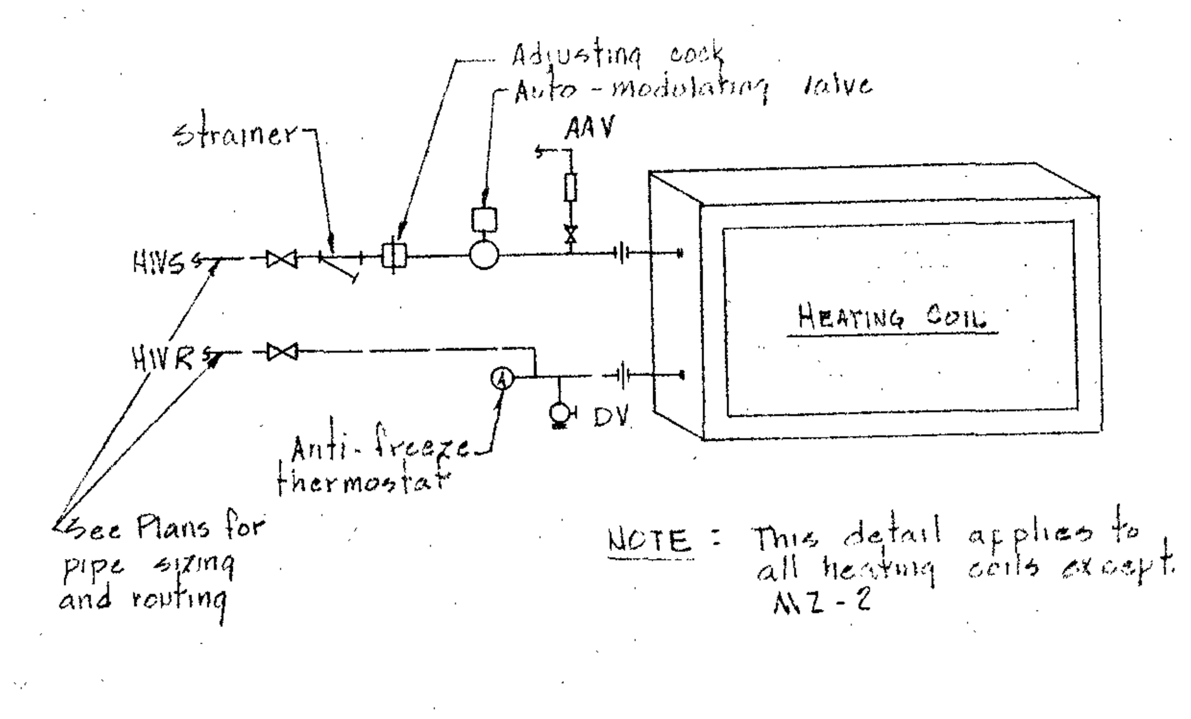
Locking damper quadrant on bottom of each damper blade shaft for zone air volume adjustment. Quadrant indicator installed in accessible position and shall show damper in "OPEN" position.

This detail typical for damper unit in each zone for all M-Z units. See Plans for locations.

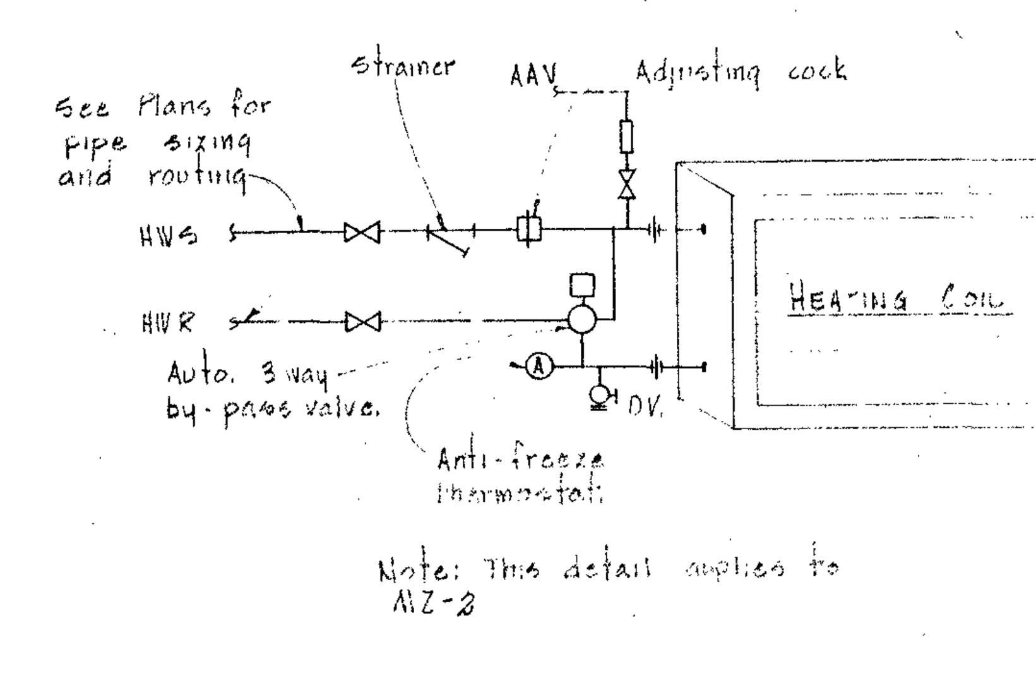
TYPICAL AIR VOLUME ZBD DETAIL (E / M-2)



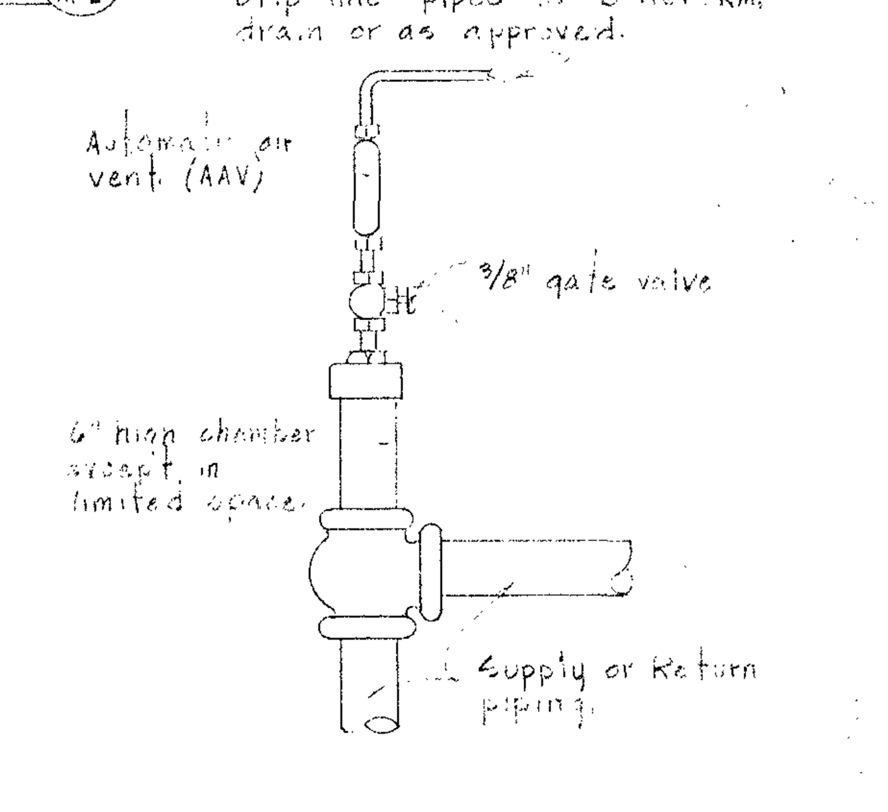
BOILER ROOM PIPING DIAGRAM (A / M-2)
NOT TO SCALE



MODULATING HEATING COIL PIPING DIAGRAM (B / M-2)
No Scale



BY-PASS HEATING COIL PIPING DIAGRAM (C / M-2)
No Scale



TYPICAL AAV VALVE INSTALLATION DETAIL (D / M-2)
No Scale

REGISTERED PROFESSIONAL ENGINEER 5453 OREGON JULY 9, 1965 THEODORE W. RONER

MARQUESS & MARQUESS
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GOLDY BUILDING - MEDFORD, OREGON

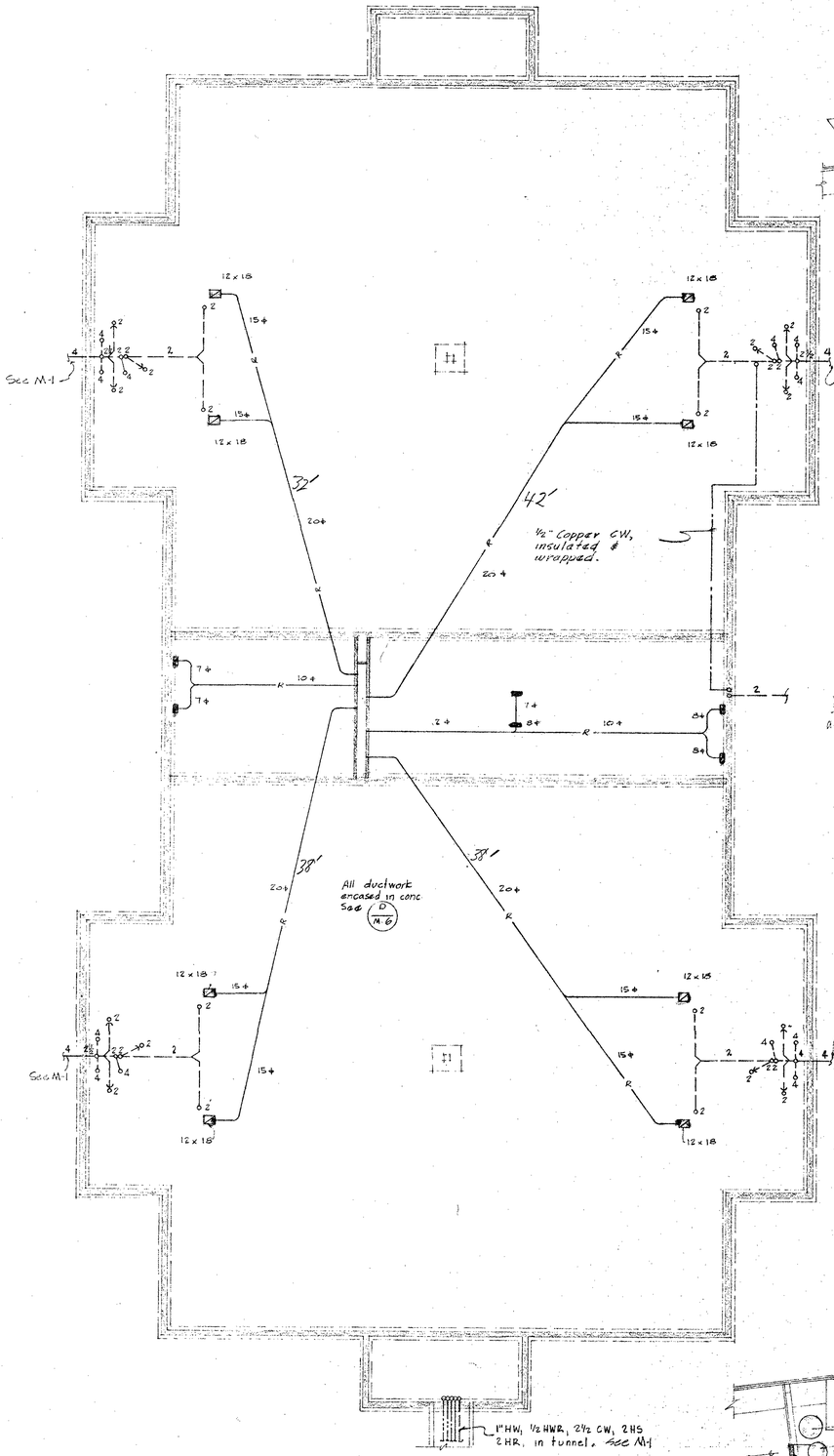
SCHEDULES

EVERGREEN SCHOOL
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

D.D.
R.F.M.
6612
OCT. 14 66

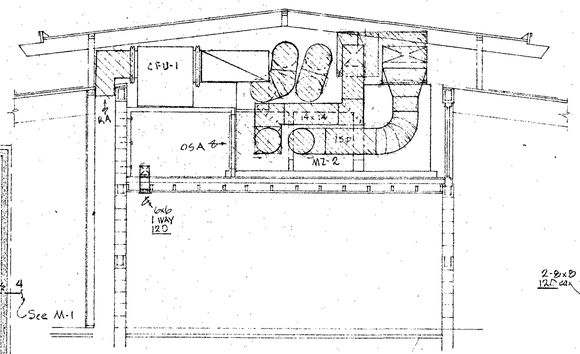
JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

M-2



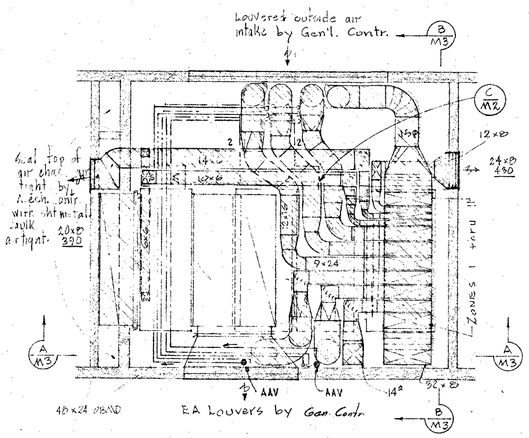
BLDG. A - SOUTH FOUNDATION PLAN

1/8" = 1'-0"



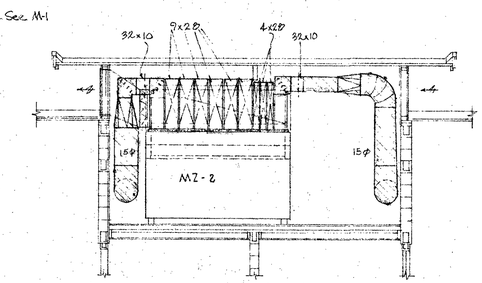
SECTION - A/M3

1/4" = 1'-0"



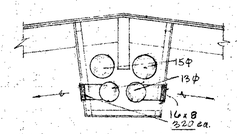
MECHANICAL ROOM PLAN

1/4" = 1'-0"



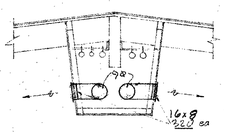
SECTION - B/M3

1/4" = 1'-0"



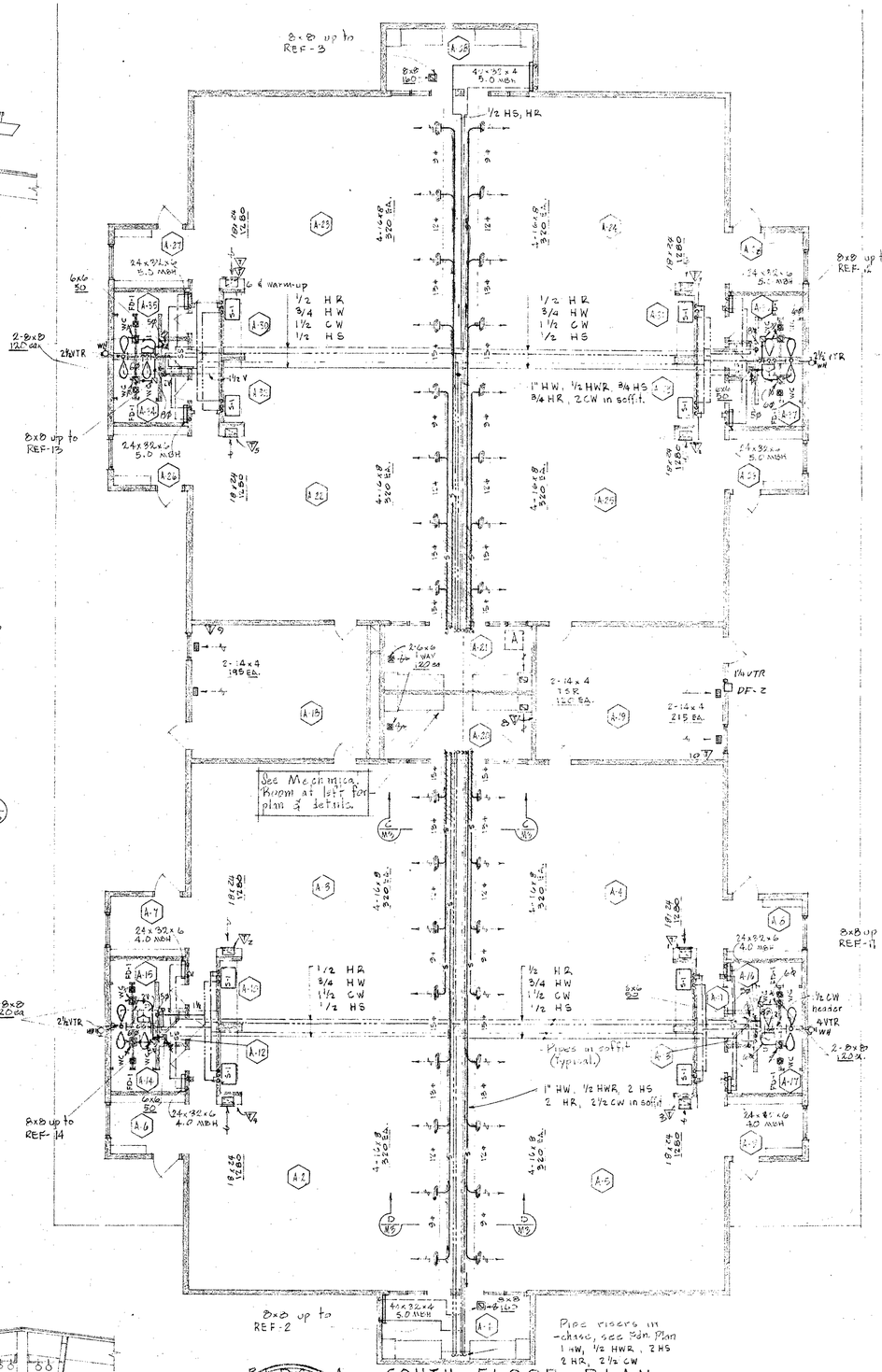
SECTION - C/M3

1/4" = 1'-0"



SECTION - D/M3

1/4" = 1'-0"



A - SOUTH FLOOR PLAN

REGISTERED PROFESSIONAL ENGINEER 5453 OREGON JULY 2, 1959 THEODORE W. ROTHER

MARQUESS & MARQUESS
CONSULTING ENGINEERS
GOLDY BUILDING - MEDFORD, OREGON

BLDG. "A" (SOUTH) PLUMBING & HEATING

EVERGREEN SCHOOL

JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

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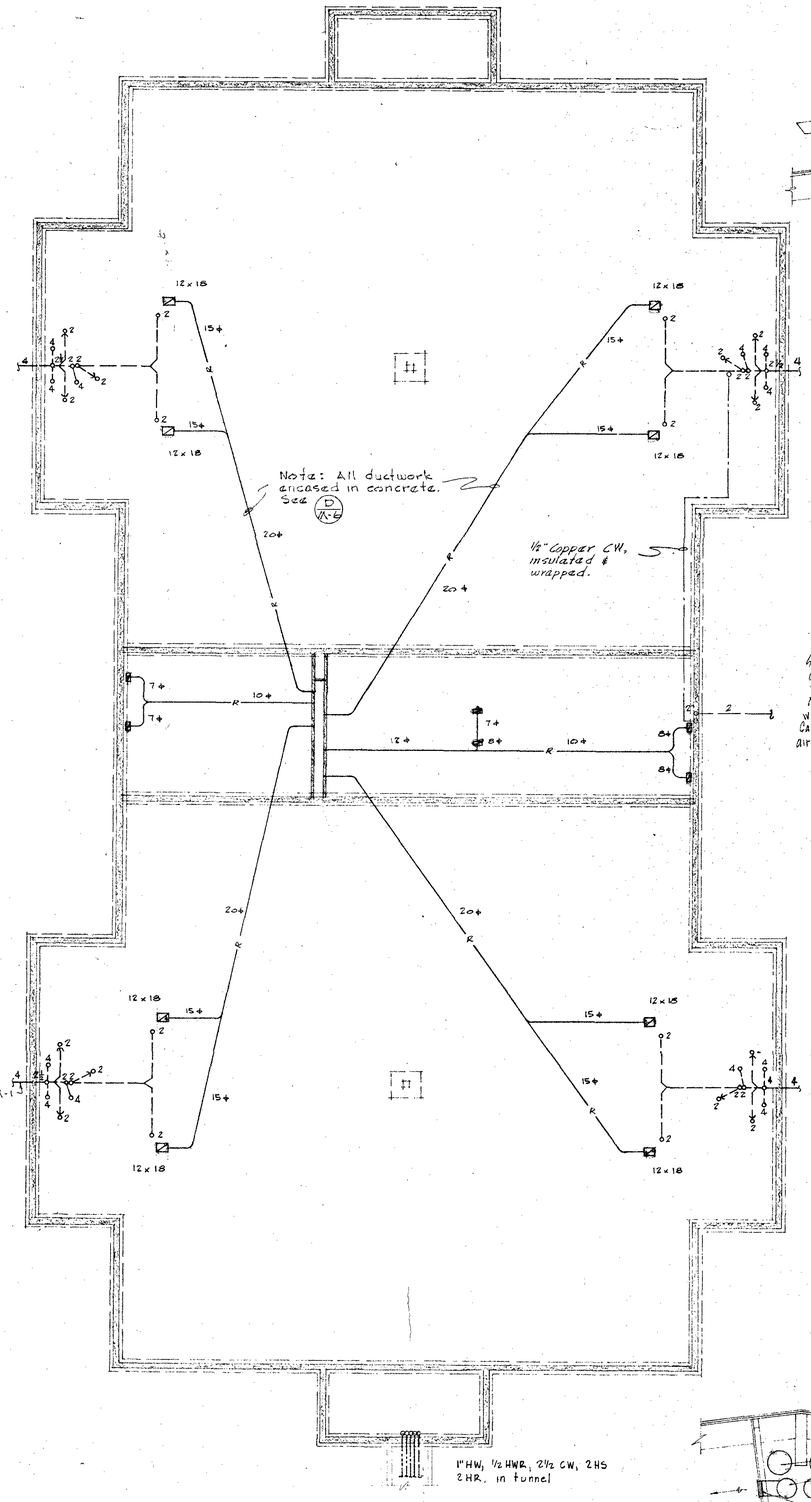
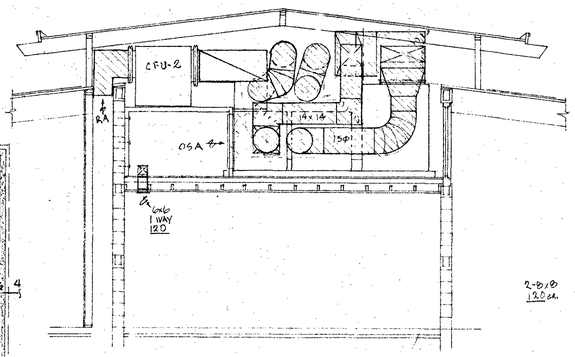
W.F.X.	JACK A EDSON AIA
6512	ARCHITECTURE & PLANNING
OCT. 14, 60	128 EAST MAIN STREET MEDFORD, OREGON

M-2

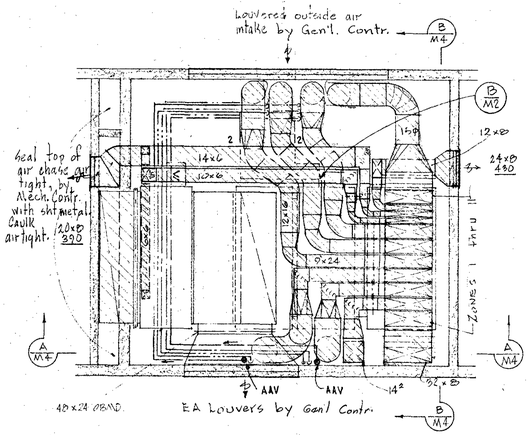
SOUTHERN OREGON STATIONERY



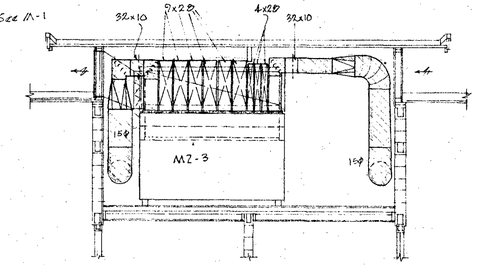
BLDG A - NORTH FOUNDATION PLAN
1/8" = 1'-0"



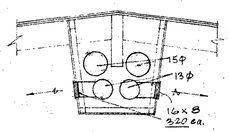
SECTION - A M4
1/4" = 1'-0"



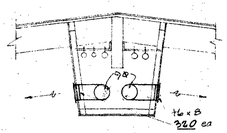
MECHANICAL ROOM PLAN
1/4" = 1'-0"



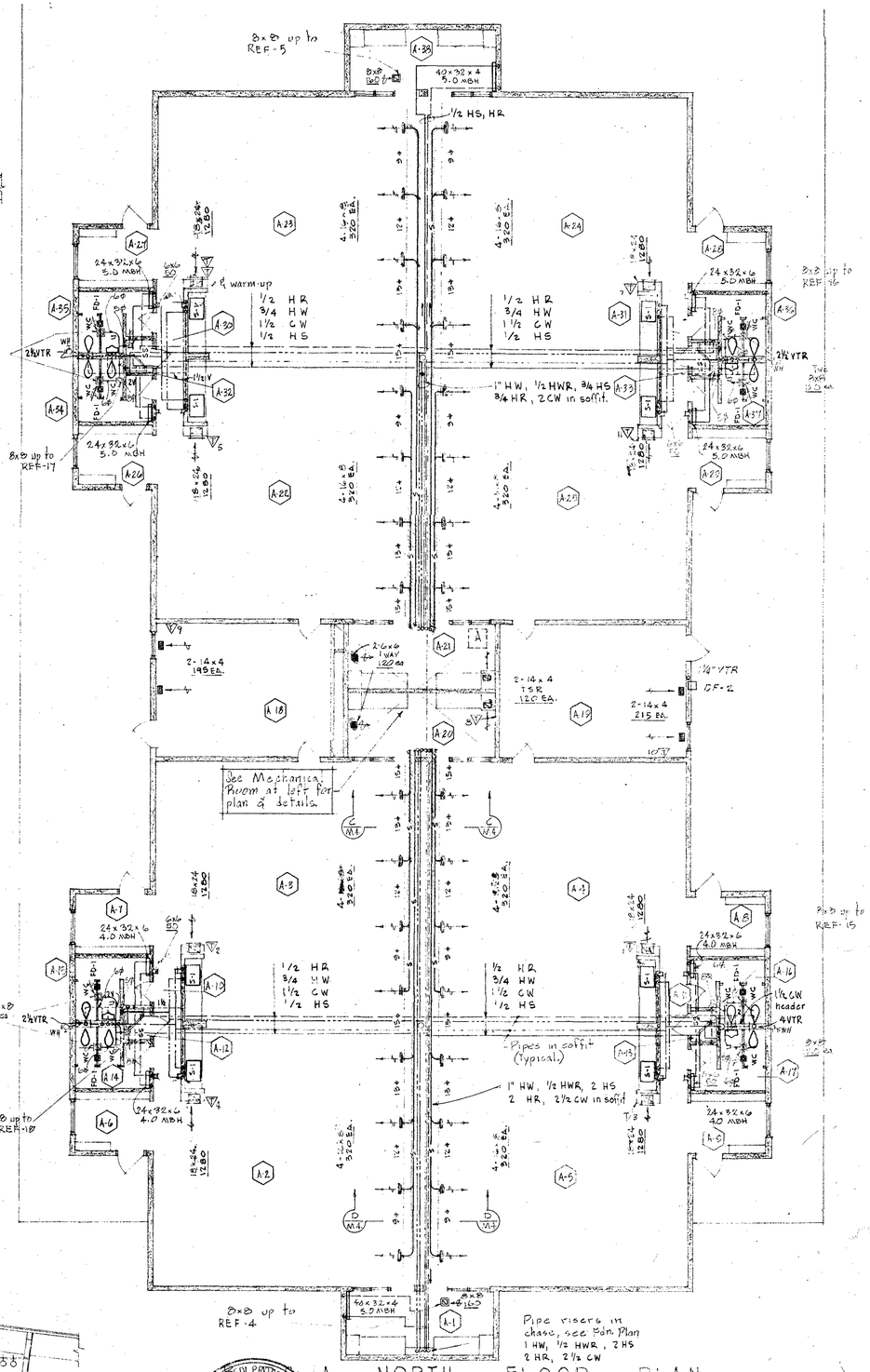
SECTION - B M4
1/4" = 1'-0"



SECTION - C M4
1/4" = 1'-0"



SECTION - D M4
1/4" = 1'-0"



A - NORTH FLOOR PLAN

REGISTERED PROFESSIONAL ENGINEER 5453 OREGON JULY 9, 1965 THEODORE W. RONER

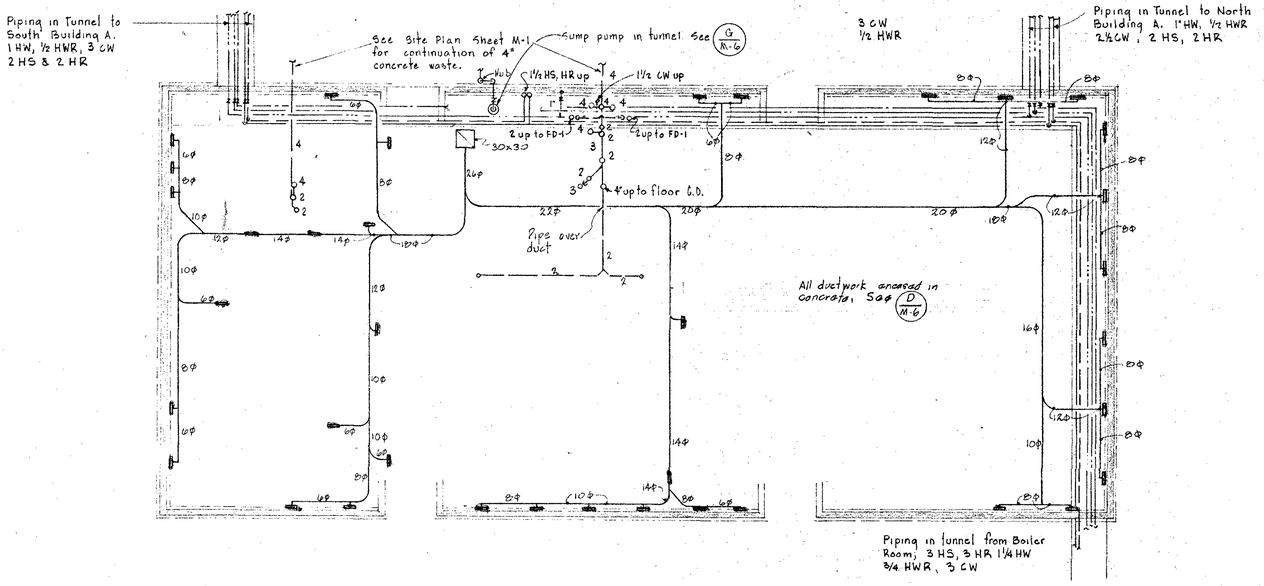
MARQUESS & MARQUESS
CONSULTING ENGINEERS
GOLDY BUILDING - MEDFORD, OREGON

BLDG. 'A' (NORTH) PLUMBING & HEATING

EVERGREEN SCHOOL
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

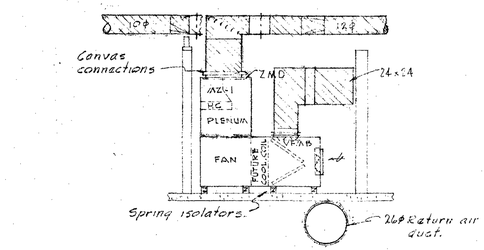
D.D.	JACK A EDSON AIA
R.F.M.	ARCHITECTURE & PLANNING
6512	128 EAST MAIN STREET MEDFORD, OREGON
OCT. 14, 66	

M-1

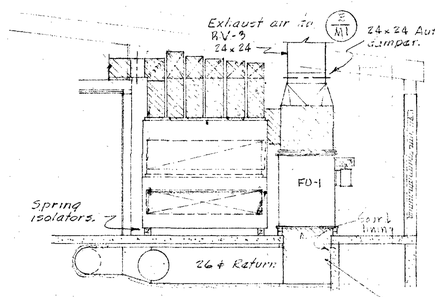


BLDG. B FOUNDATION PLAN

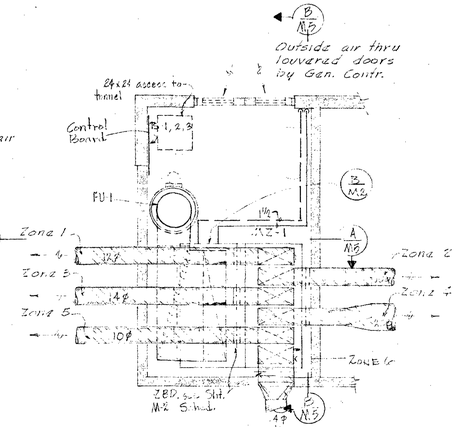
1/8" = 1'-0"



SECTION - A M5
SCALE: 1/4" = 1'-0"

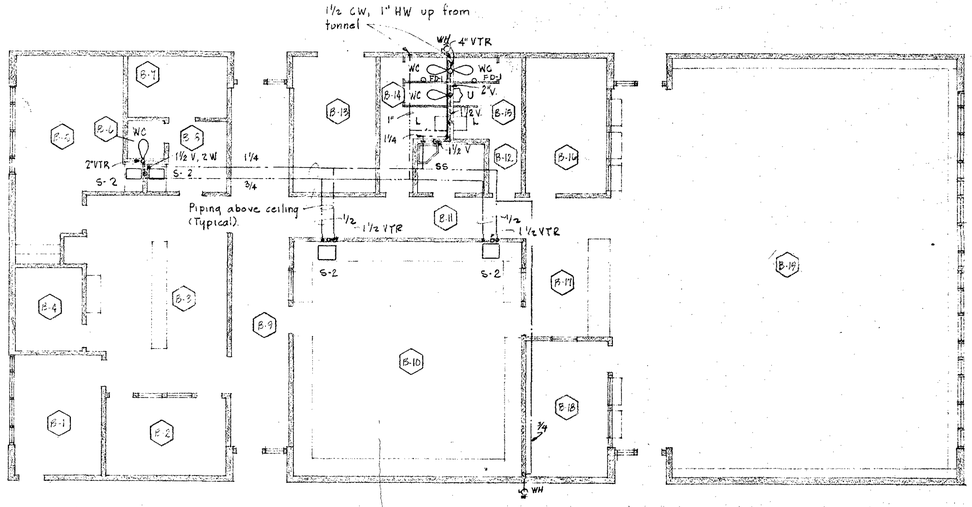


SECTION - B M5
SCALE: 1/4" = 1'-0"



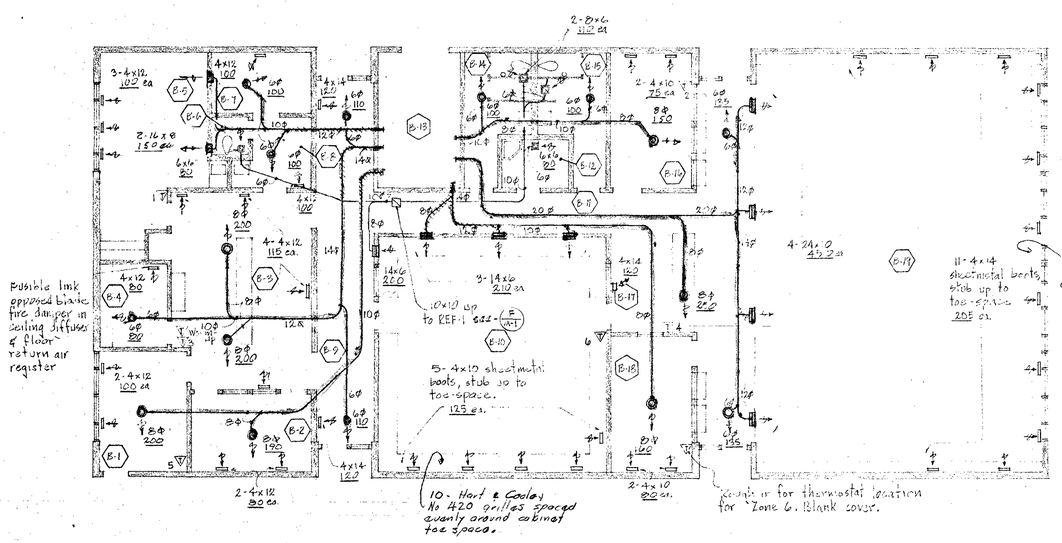
MECHANICAL PLAN - RM. B-13

SCALE: 1/4" = 1'-0"



BLDG. B PLUMBING FLOOR PLAN

1/8" = 1'-0"



BLDG. B HEATING & VENTILATING FLOOR PLAN

1/8" = 1'-0"

REGISTERED PROFESSIONAL ENGINEER 5453 Theodore W. Roner OREGON JULY 9, 1957 THEODORE W. RONER

MARQUESS & MARQUESS
CONSULTING ENGINEERS
GOLDY BUILDING - MEDFORD, OREGON

BLDG. "B" PLUMBING & HEATING

EVERGREEN SCHOOL

JOSEPHINE COUNTY UNIT SCHOOL DISTRICT OREGON

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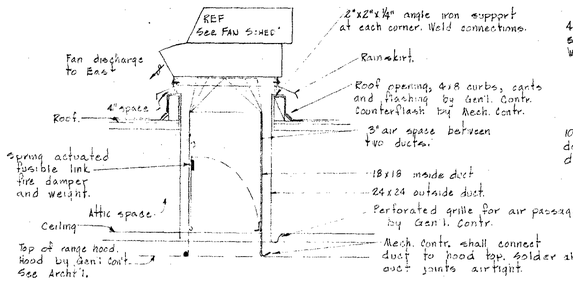
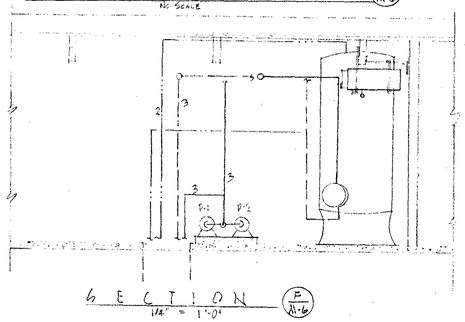
OCT. 14, 66	128 EAST MAIN STREET MEDFORD, OREGON

M-5



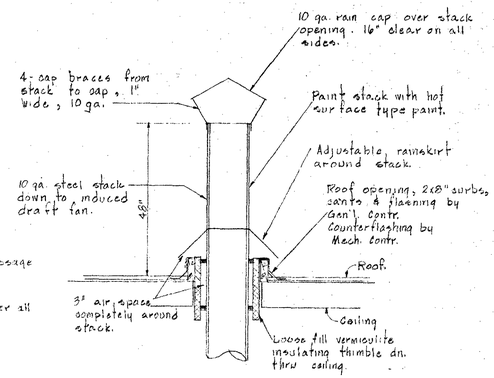
TYPICAL RANGE HOOD EXHAUST DETAIL (A M-6)

No Scale



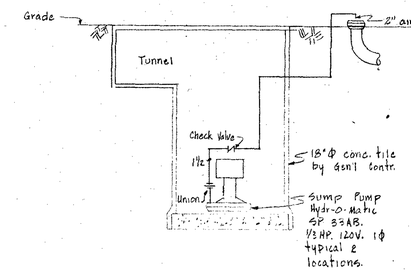
SECTION (F M-6)

1/4" = 1'-0"



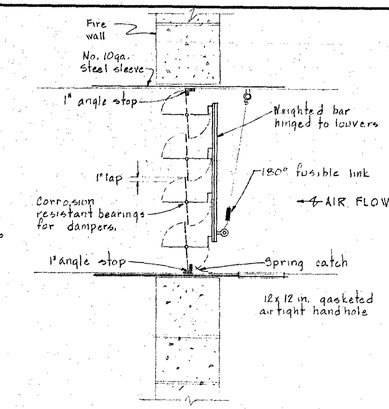
TYPICAL BOILER STEEL STACK DETAIL (B M-6)

No Scale



SUMP PUMP DETAIL (G M-6)

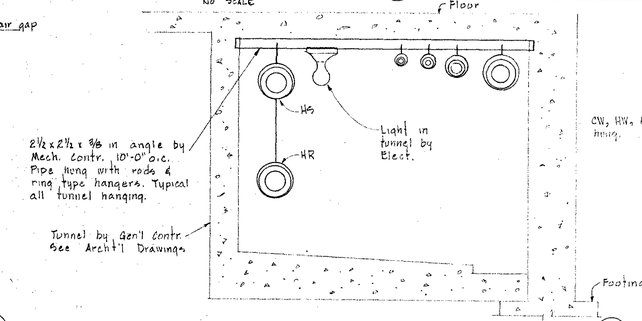
No Scale.



(L F D)

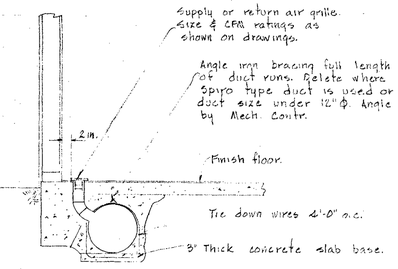
TYPICAL LOUVERED FIRE DAMPER DETAIL (C M-6)

No Scale



TYPICAL TUNNEL SECTION (H M-6)

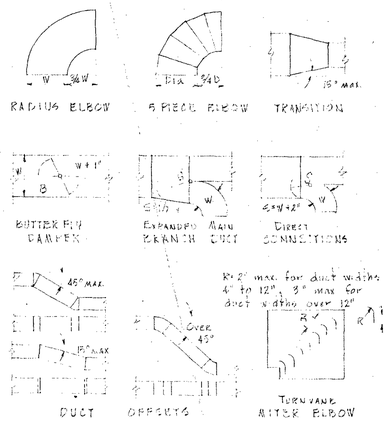
1" = 1'-0"



NOTE:
3" slab trees poured with tie down wires for duct anchorage. Duct encased in 2" minimum concrete. All concrete work done by Gen'l Contr. Mech. Contr. shall be responsible for duct, boot and register alignment while concrete is poured and set. Three ducts or more routed side by side shall be minimum 6" apart.

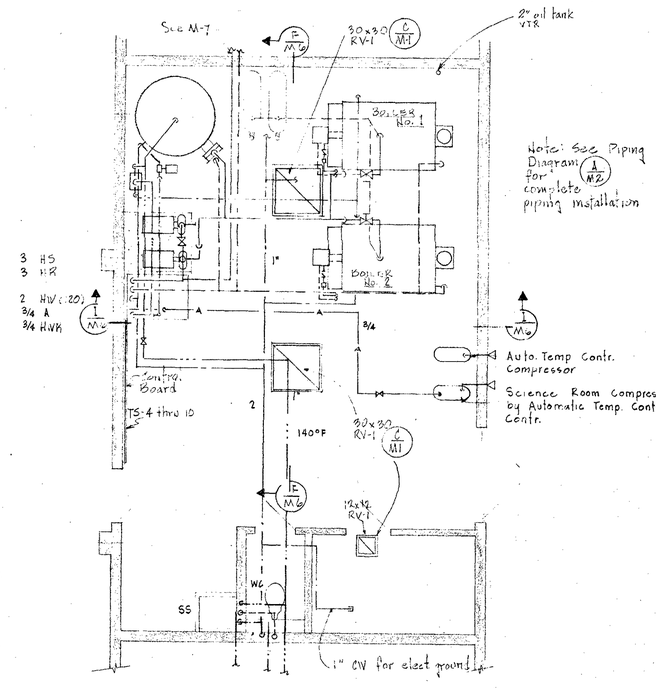
UNDERFLOOR DUCT INSTALLATION DETAIL (D M-6)

No Scale



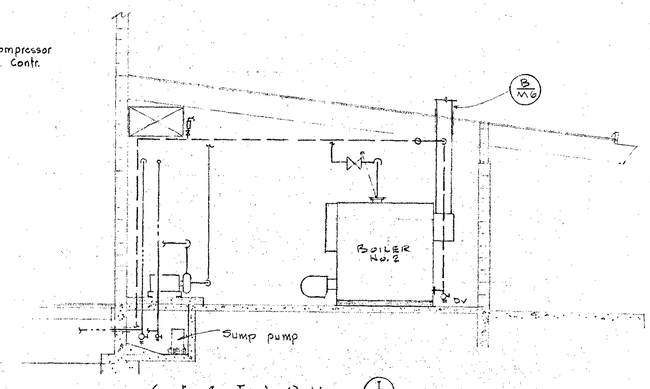
TYPICAL DUCT CONSTRUCTION DETAILS (E M-6)

No Scale



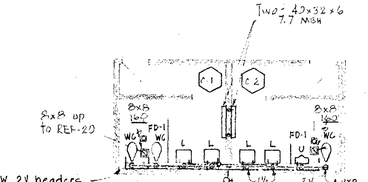
BOILER ROOM PLAN

1/4 = 1'-0"



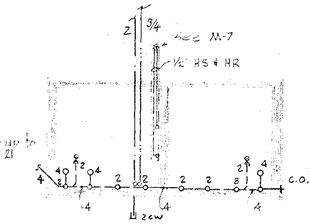
SECTION (I M-6)

1/8" = 1'-0"



BUILDING "C" FLOOR PLAN

1/8" = 1'-0"



BUILDING "C" FOUNDATION PLAN

1/8" = 1'-0"

N

REGISTERED PROFESSIONAL ENGINEER 5153 Theodore W. Roner OREGON JULY 1, 1970 THEODORE W. RONER

MARQUESS & MARQUESS
CONSULTING ENGINEERS
GOLDY BUILDING - MEDFORD, OREGON

BLDG. "C" PLUMBING & HEATING & BOILER RM.

EVERGREEN SCHOOL
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

D.D.	JACK A EDSON AIA
R.E.M.	ARCHITECTURE & PLANNING
6512	128 EAST MAIN STREET MEDFORD, OREGON
OCT 14, 66	

M-5

SOUTHERN OREGON STATIONERY

BLDG. D FOUNDATION PLAN
1/8" = 1'-0"

BLDG. D FLOOR PLAN
1/8" = 1'-0"

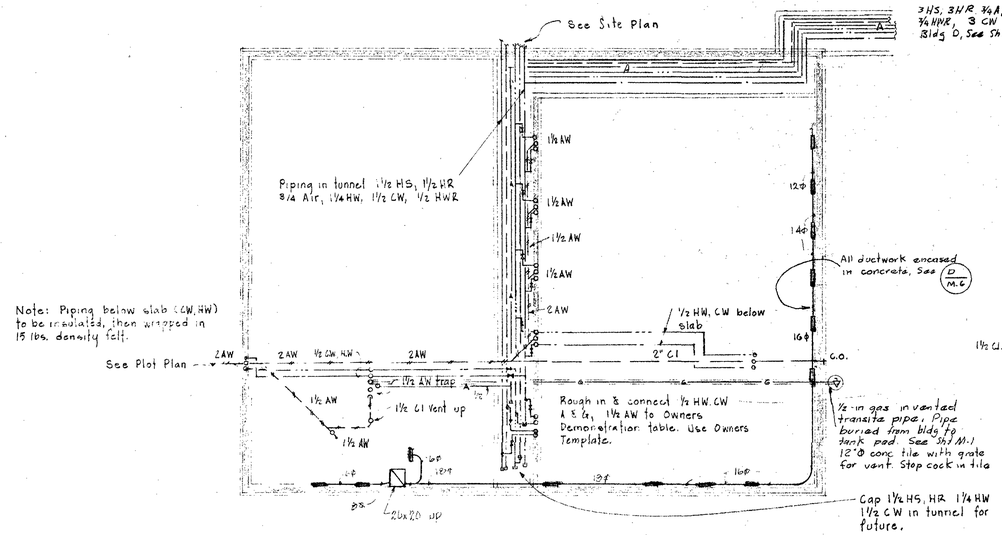
Bulletin No. 2 Item No. 32

REGISTERED PROFESSIONAL ENGINEER 5453 OREGON JULY 3, 1963 THEODORE W. RONER

MARQUESS & MARQUESS
CONSULTING ENGINEERS
GOLDY BUILDING - MEDFORD, OREGON

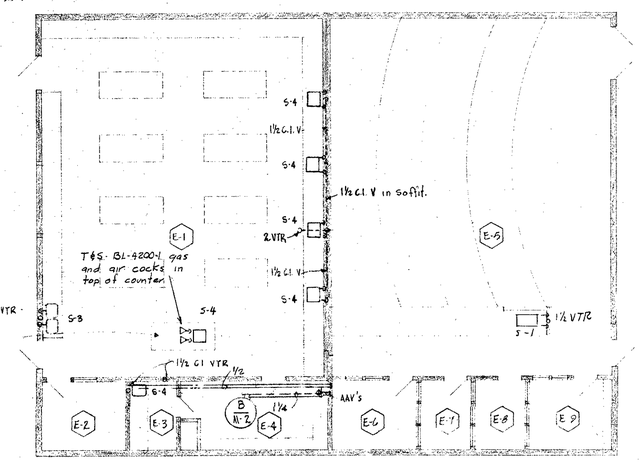
BLDG. "D" PLUMBING & HEATING	
EVERGREEN SCHOOL	
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON	
DD	
RFM	JACK A EDSON AIA ARCHITECTURE & PLANNING
6512	128 EAST MAIN STREET MEDFORD, OREGON
OCT. 14, 66	M-7

SOUTHERN OREGON STATIONERY



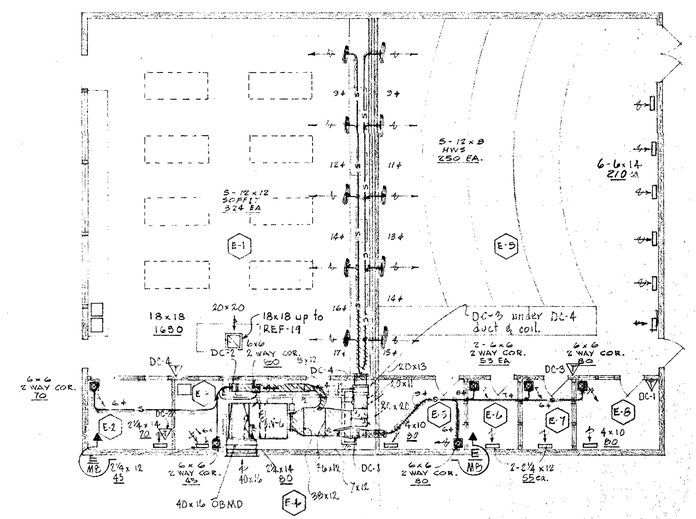
BLDG. E FOUNDATION PLAN

1/8" = 1'-0"



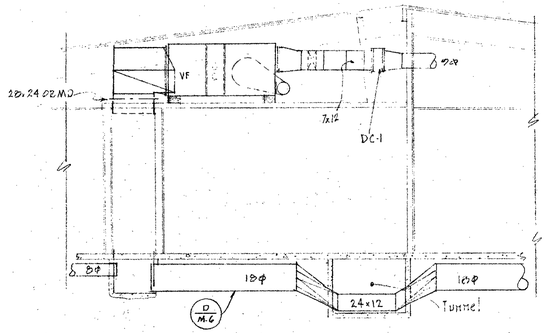
BLDG. E. PLUMBING FLOOR PLAN

1/8" = 1'-0"



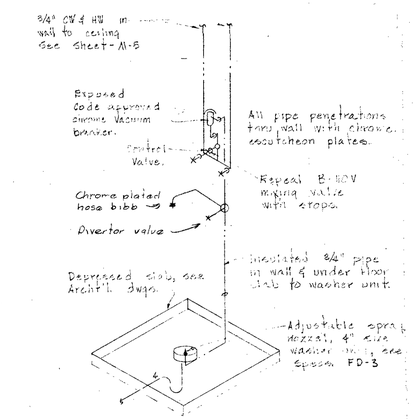
BLDG. E HEATING & VENTILATING FLOOR PLAN

1/8" = 1'-0"



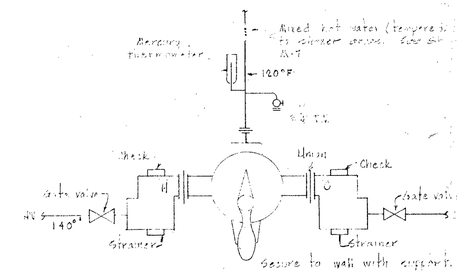
SECTION E M-8

1/4" = 1'-0"



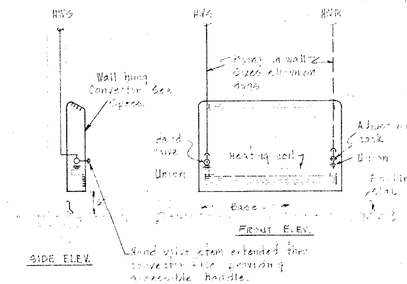
GARBAGE CAN WASHER PIPING DETAIL A M-8

No Scale



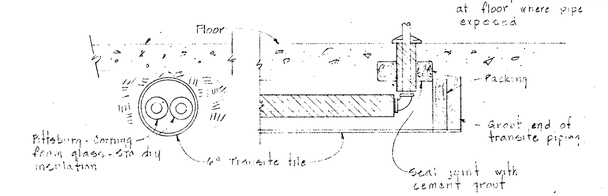
THERMOSTATIC MIXING VALVE CONNECTION DETAIL B M-8

No Scale



TYPICAL WALL CONVECTOR INSTALLATION DETAIL C M-8

No Scale



TYPICAL PIPE RUNOUT IN TRANSITE TILE DETAIL D M-8

No Scale

REGISTERED PROFESSIONAL ENGINEER 5453 Theodore W. Roner OREGON JULY 9, 1971

MARQUESS & MARQUESS
CONSULTING ENGINEERS
GOLDY BUILDING - MEDFORD, OREGON

BLDG. E" PLUMBING & HEATING

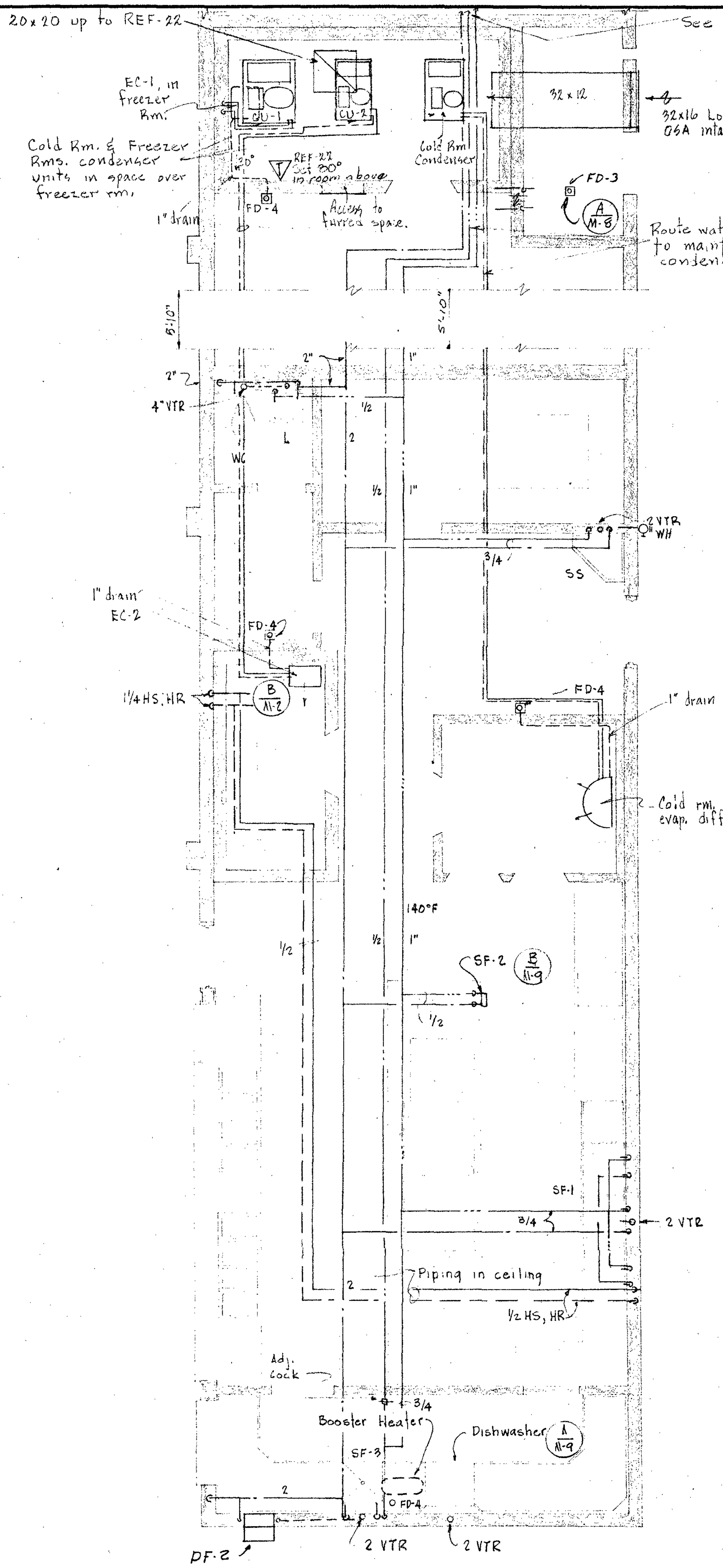
EVERGREEN SCHOOL

JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

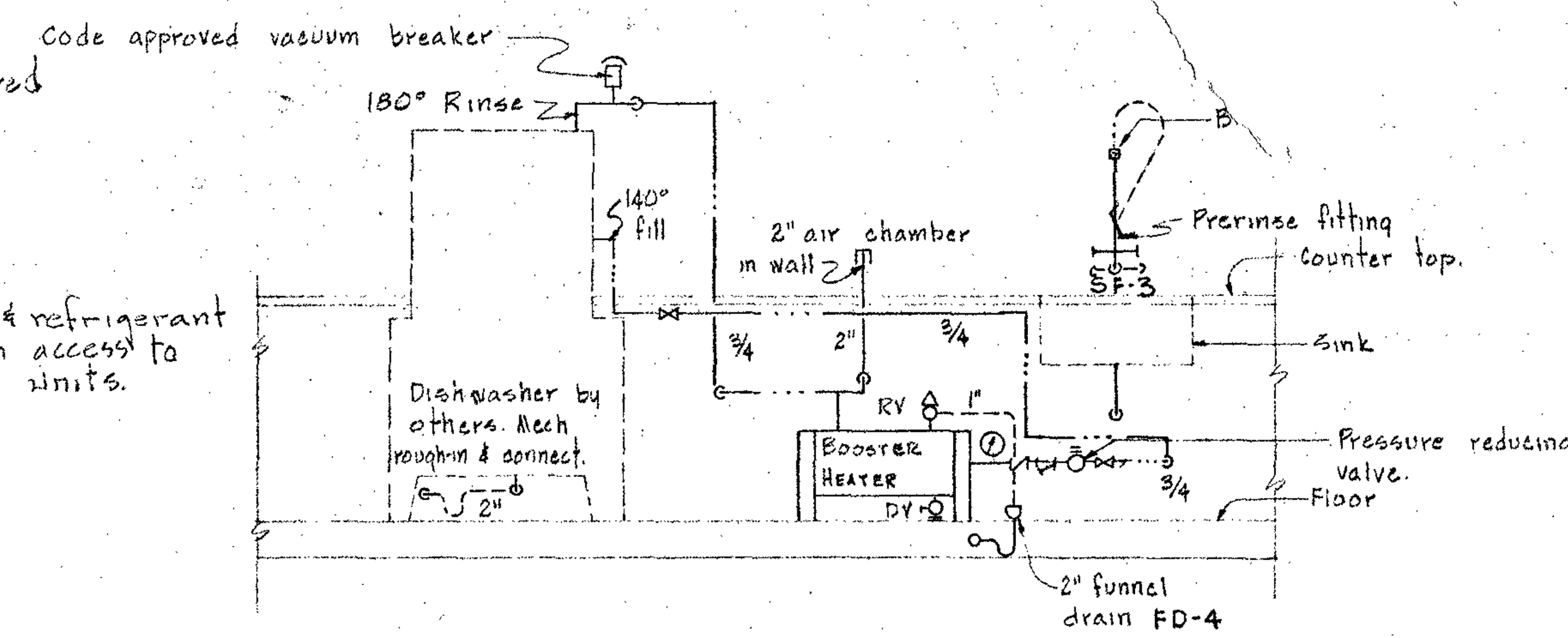
DD	
RFM	
6612	
OCT. 14, 66	

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

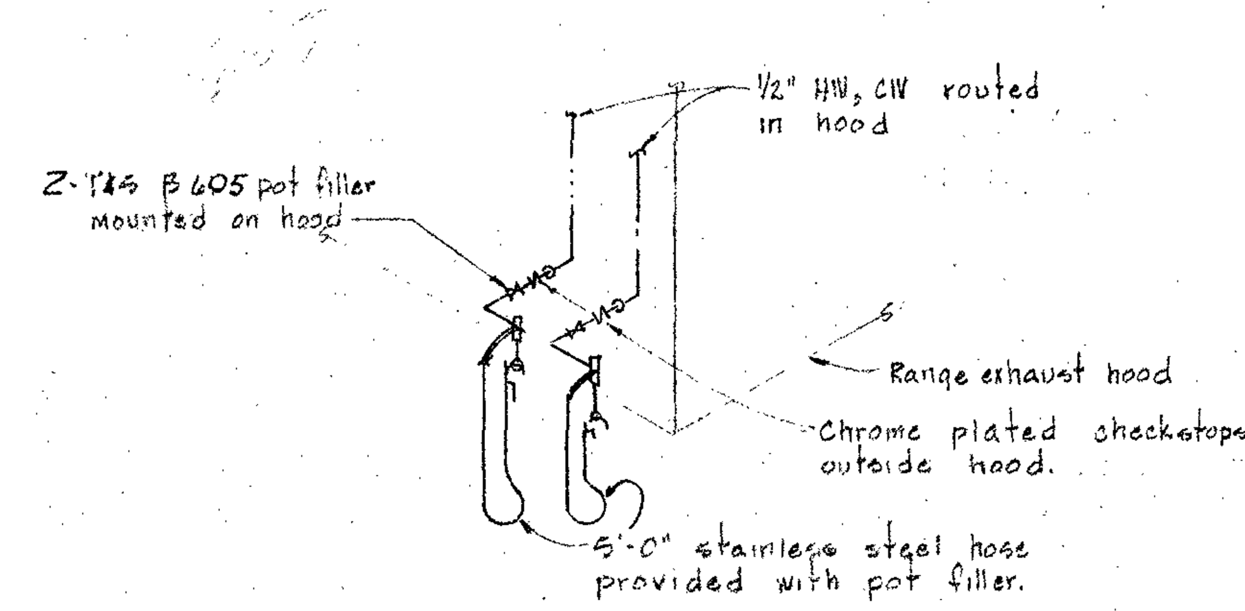
M-8



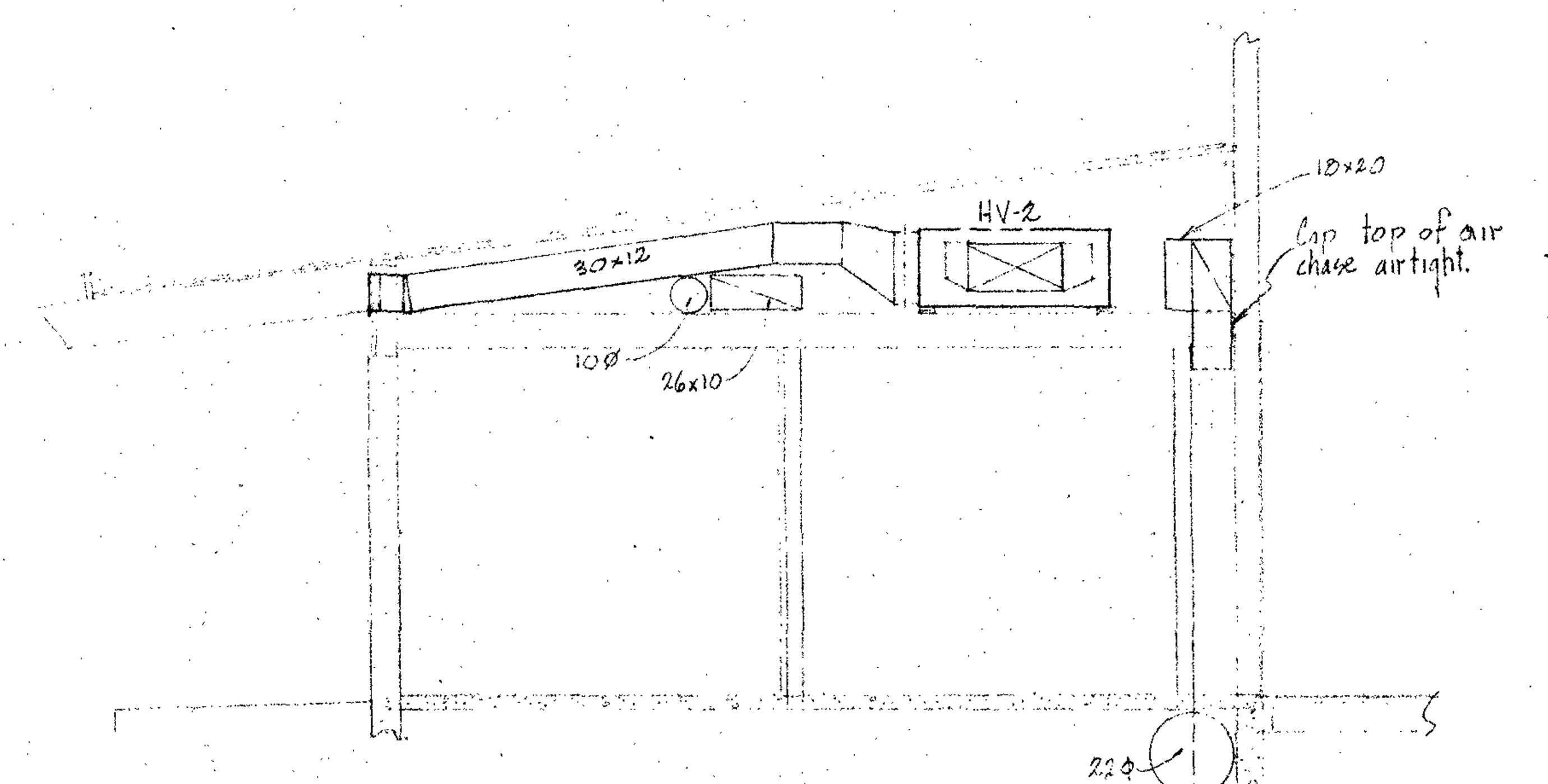
KITCHEN FLOOR PLAN
1/4" = 1'-0"



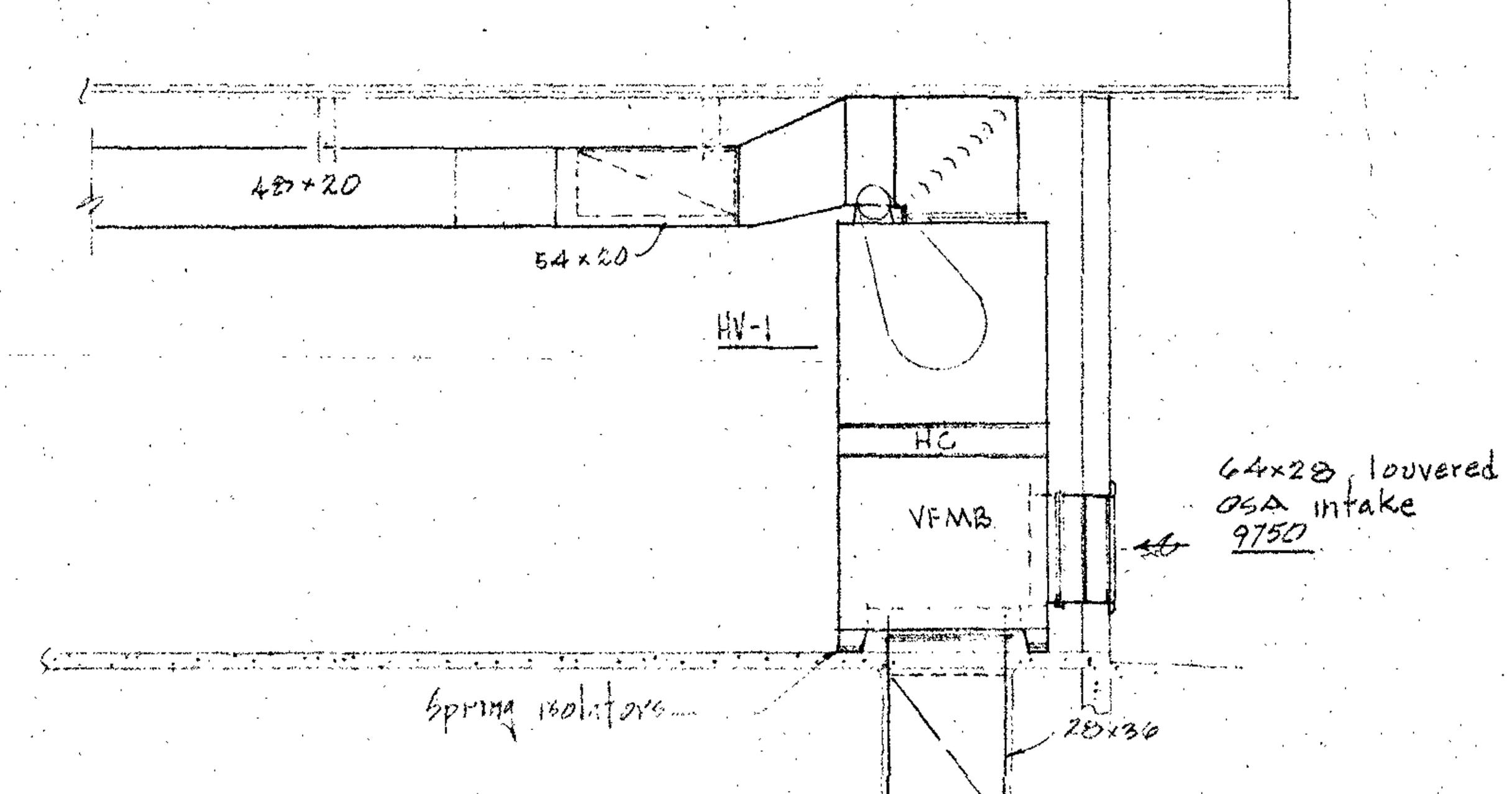
ELECTRIC BOOSTER HEATER PIPING DIAGRAM (A/M9)
NO SCALE



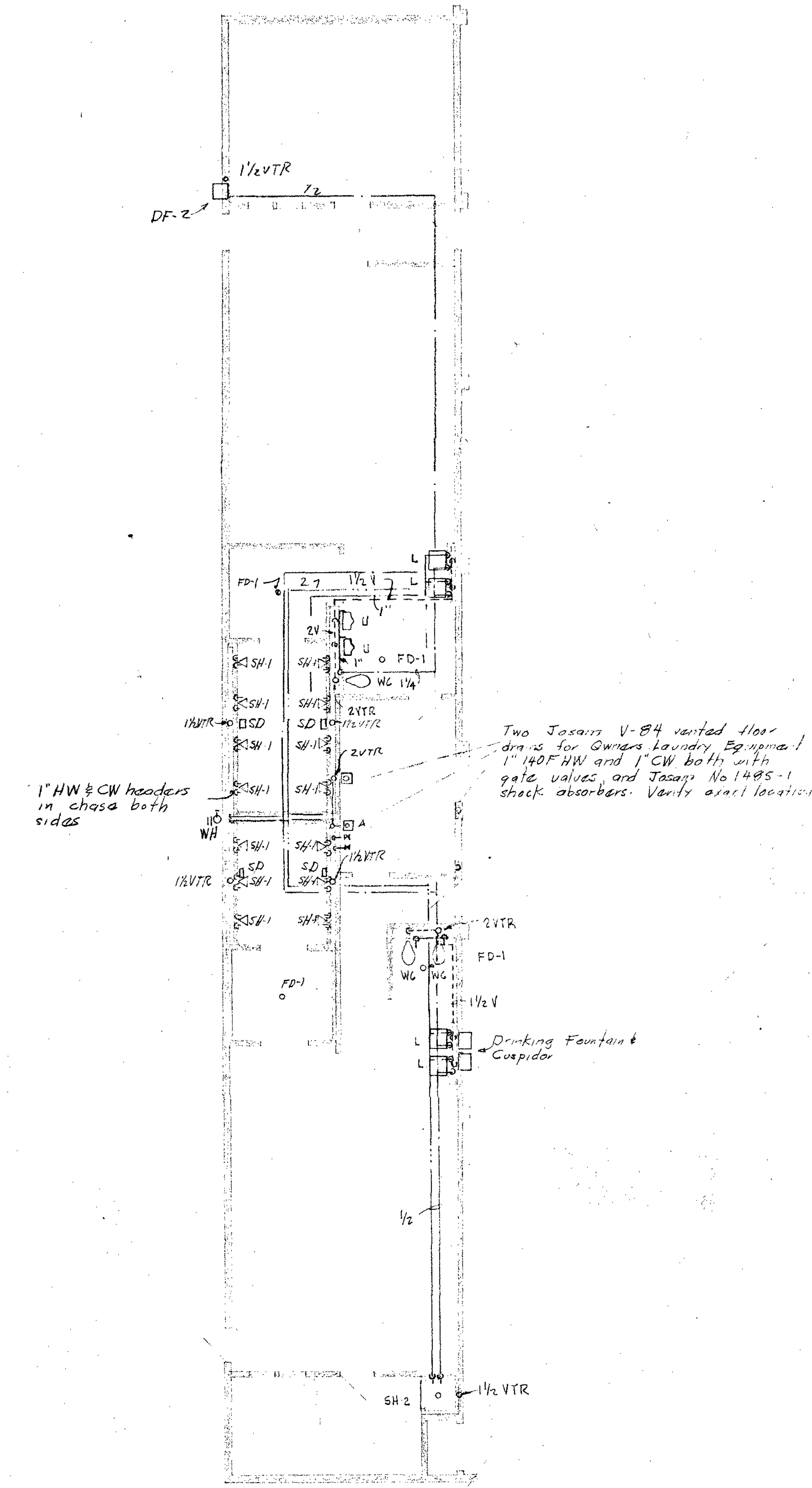
POT FILLER (SF-2) DETAIL (B/M9)
NO SCALE



SECTION (C/M9)
1/4" = 1'-0"



SECTION (D/M9)
1/4" = 1'-0"



PART PLUMBING FLOOR PLAN BUILDING 'D'

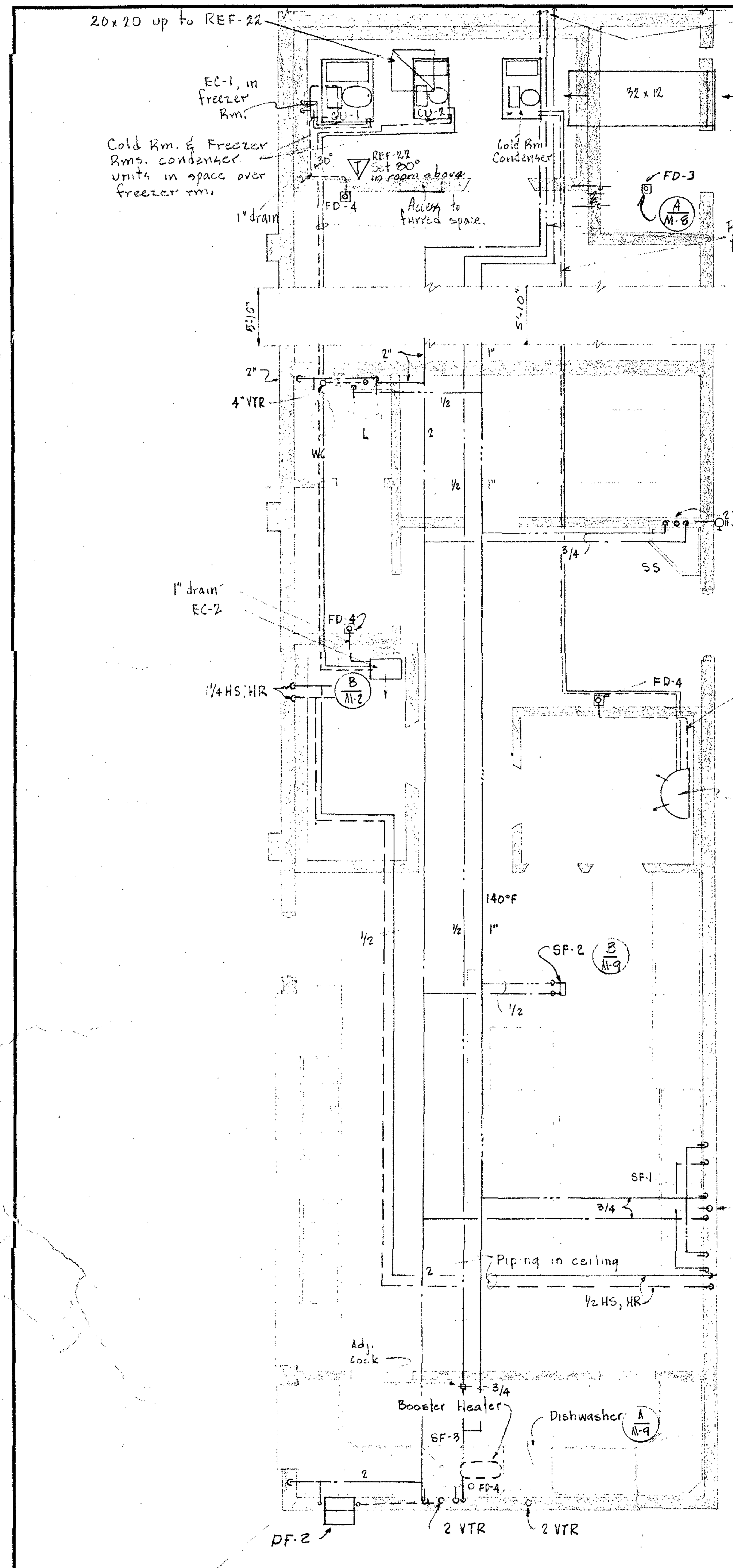
REGISTERED PROFESSIONAL ENGINEER 2438 OREGON THEODORE W RONEY
Theodore W Roney

MARQUESS & MARQUESS
CONSULTING ENGINEERS
GOLDY BUILDING MEDFORD, OREGON

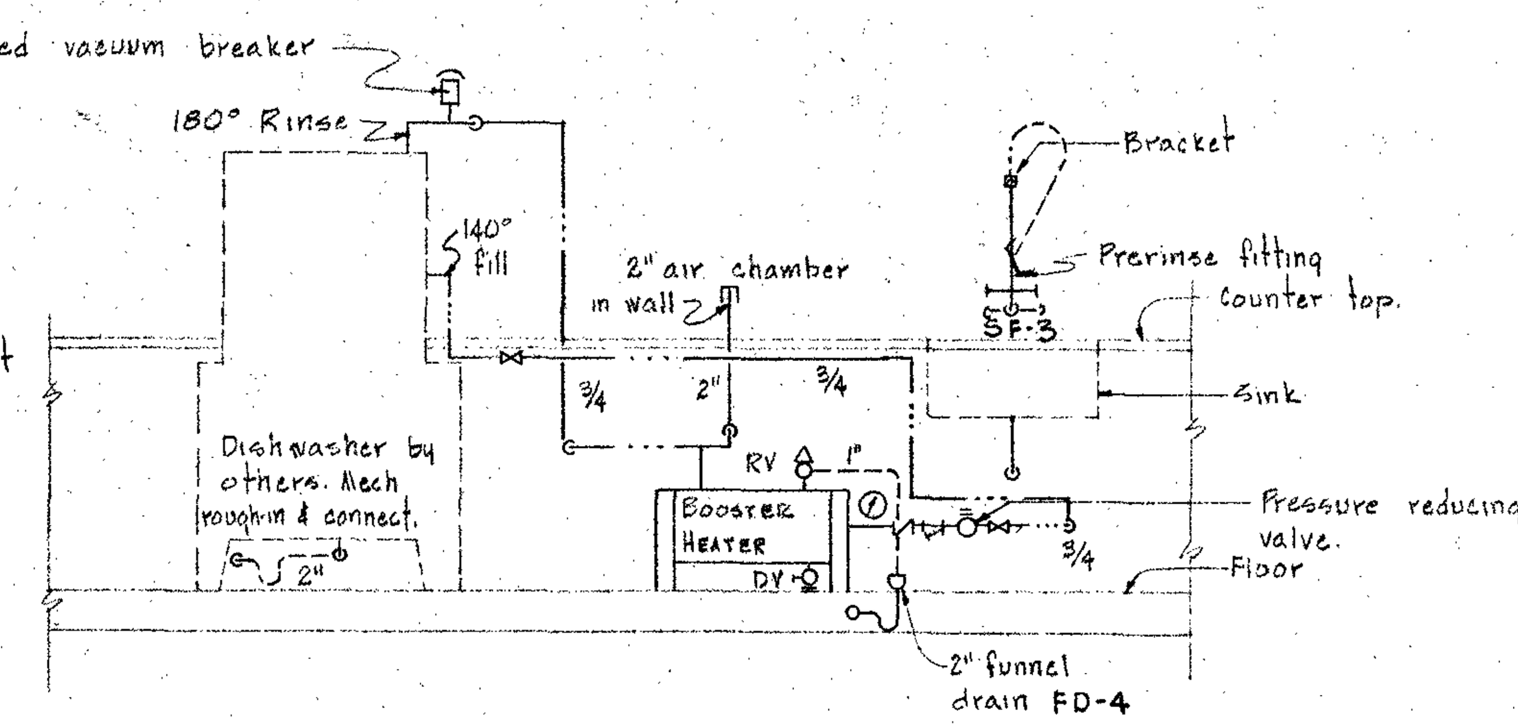
RECEIVED OCT 12 1966 JACK A. EDSON Architect

KITCHEN	
EVERGREEN SCHOOL	
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON	
DD / RFM / 6512	JACK A EDSON AIA ARCHITECTURE & PLANNING 128 EAST MAIN STREET MEDFORD, OREGON
M-9	

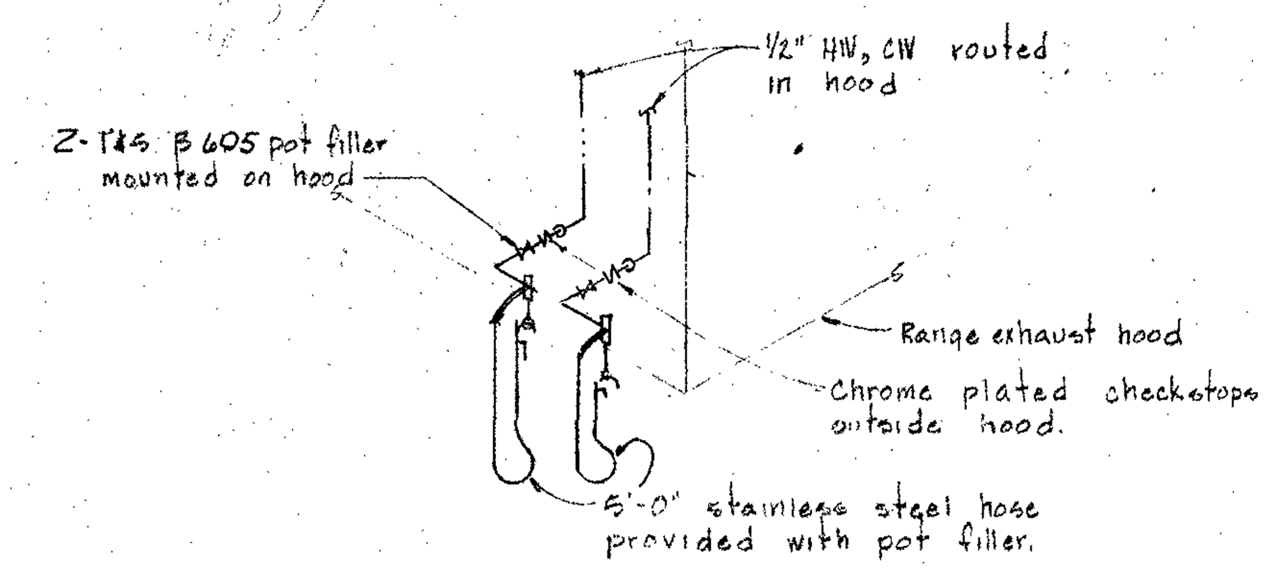
SOUTHERN OREGON STATIONERY



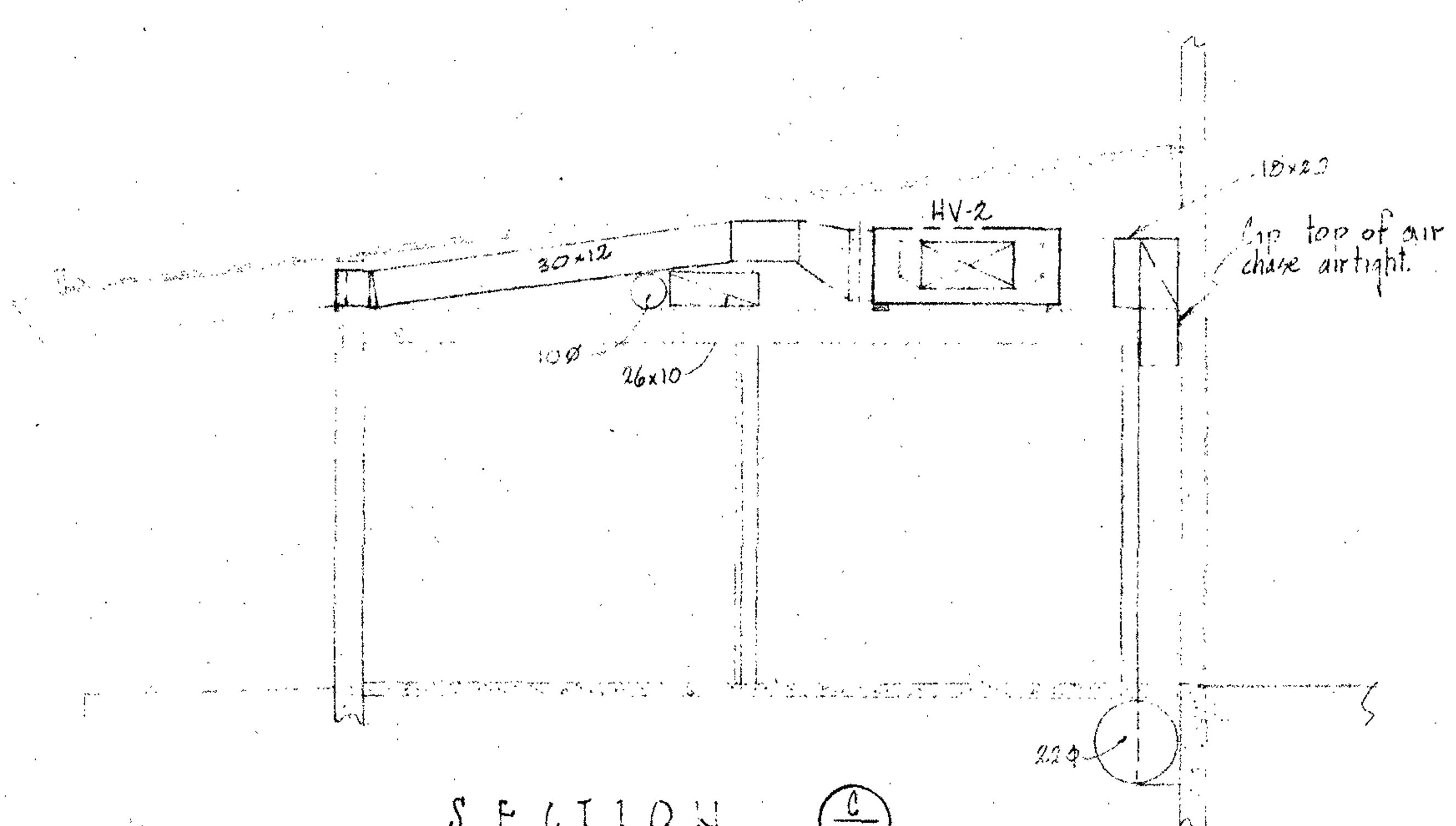
KITCHEN FLOOR PLAN
1/4" = 1'-0"



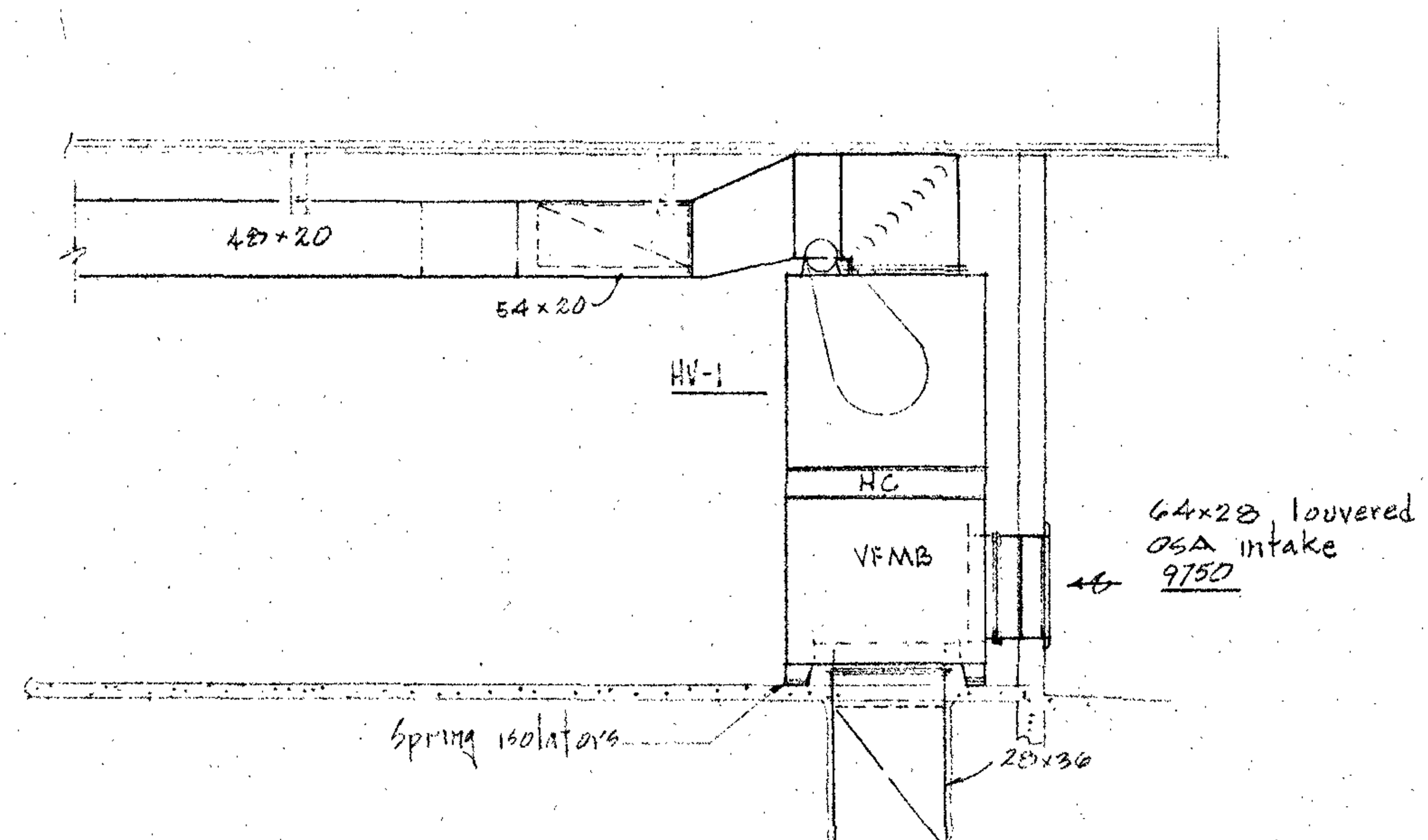
ELECTRIC BOOSTER HEATER PIPING DIAGRAM (A/M9)
NO SCALE



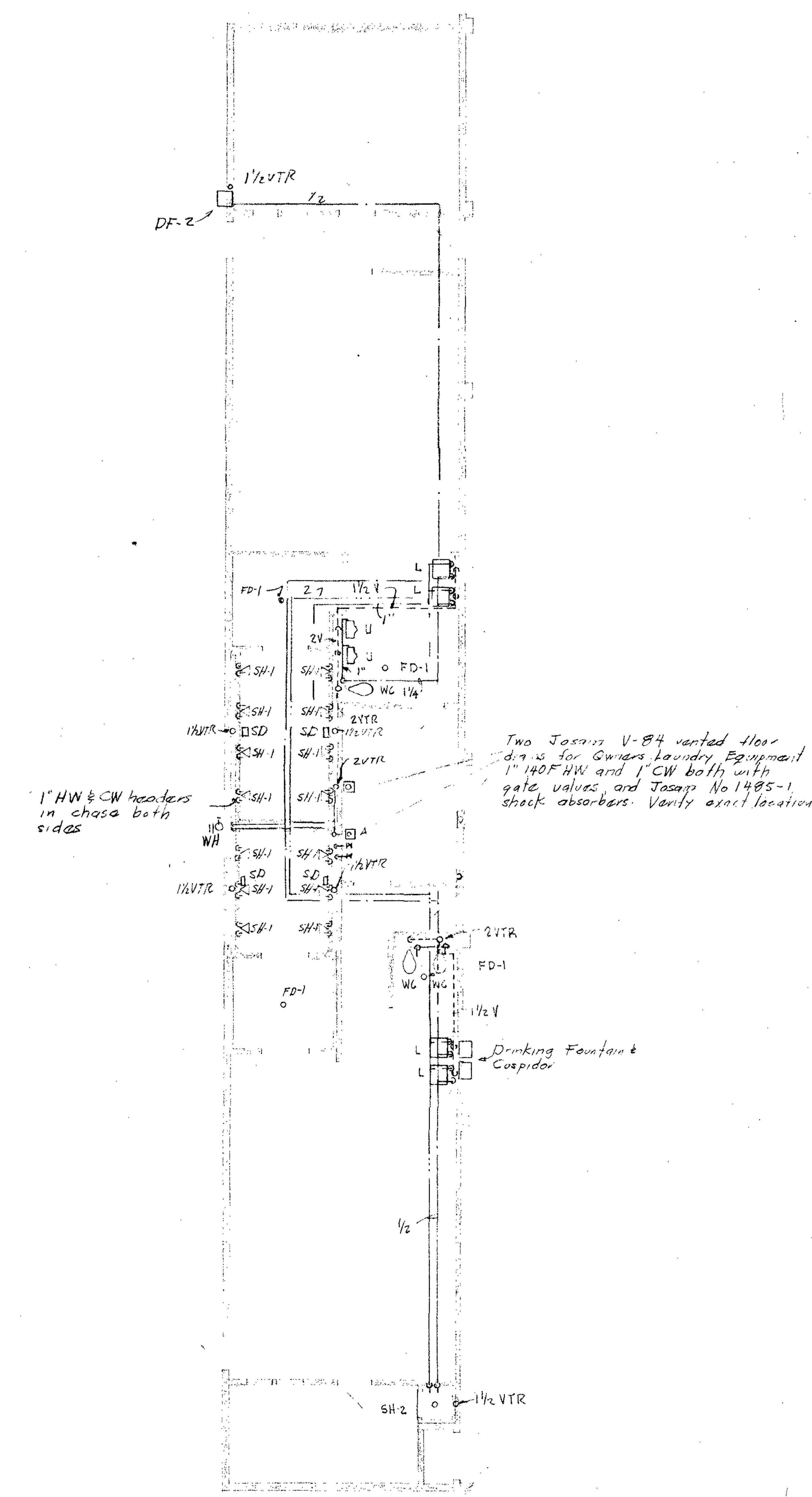
POT FILLER (SF-2) DETAIL (B/M9)
NO SCALE



SECTION (C/M9)
1/4" = 1'-0"



SECTION (D/M9)
1/4" = 1'-0"



PART PLUMBING FLOOR PLAN BUILDING 'D'

Bulletin N

MARQUESS & MARQUESS
CONSULTING ENGINEERS

	KITCHEN
	EVERGREEN SCHOOL
	JOSEPHINE COUNTY UNIT SCHOOL DISTRICT
DD	
RFM	JACK A EDSON AIA ARCHITECTURE & PLANNING
6512	128 EAST MAIN STREET MEDFORD, OREGON
OCT 14 '57	

CLASSROOM PANEL C1 & C2

INSTALL 3P 150A MAIN AHEAD OF PANEL
200A 42 CCTY 120/208

WATTS	USE	CB	CCT	CCT	CB	USE	WATTS
1000	RECEPTACLES A18	1P20	1	2	1P20	LIGHTS A23	1080
	A22		3	4		A23	1120
	A23		5	6		A30 34 35 38	1120
	A3		7	8		A22	1080
	A6		9	10		A22	1120
	A1		11	12		A24	1080
	A21		13	14		A24	1120
	A25		15	16		A31,33,36,37	760
	A24		17	18		A25	1080
	A20		19	20		A25	1120
	A4		21	22		A18, 20	1380
	A5		23	24		A19 21	1080
1400	EXTERIOR LIGHTS		25	26		A3	1080
			27	28		A3	1120
16½HP	MECHANICAL PANEL 1	3P100	29	30		A6	1080
			31	32		A6	1120
500	SPARE	1P20	33	34		A10,12,14,15,1	1120
500	SPARE	1P20	35	36		A4	1280
500	SPARE	1P20	37	38		A4	1120
500	SPARE	1P20	39	40		A5	1080
760	LIGHTS A11,13,16,17	1P20	41	42		A5	1120

TOTAL CONNECTED LOAD 39820 WATTS 116½HP
AMPERES 155 AMPERES

FEED WITH 4-600MCM TW AL TO MAIN. PROVIDE DOUBLE LUGS AT CLASSROOM PANEL C2 AND EXTEND FEEDER TO PANEL C-1, OTHERWISE BOTH PANELS ARE IDENTICAL. PLUS 11, BOTTOM OR TOP LUGS

MECHANICAL PANEL #1 IN C1, #2 IN C2. FEED WITH 4 #2Cu OR EQ AL.

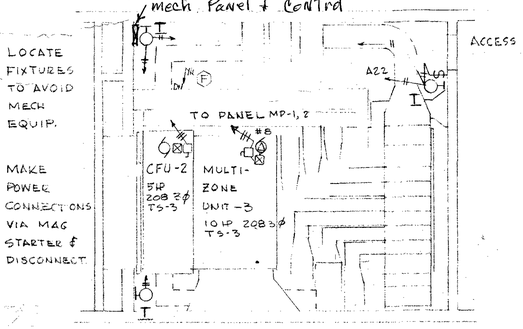
LOAD	USE	CB	CCT	CCT	CB	USE	LOAD
			1	2			
10HP	MZ-3	3P70	3	4	3P40	C	5HP
			5	6			
¼HP	REF 15	1P15	7	8	1P15	REF 4	¼HP
½ HP	" 16		9	10		REF 5	½HP
¼HP	" 17		11	12		REF 18	¼HP
500	SPARE		13	14		SPARE	500
500	SPARE		15	16		SPARE	500
500	SPARE		17	18		SPARE	500

MOUNT AND WIRE IN SAME PANEL A MECHANICALLY HELD CONTACTOR, 6 POLES, TO SWITCH REF-5 FROM TS-3. PROVIDE 1¼"C FROM MECH ROOM BLDG B.

STUB 1"C TO MECH ROOM

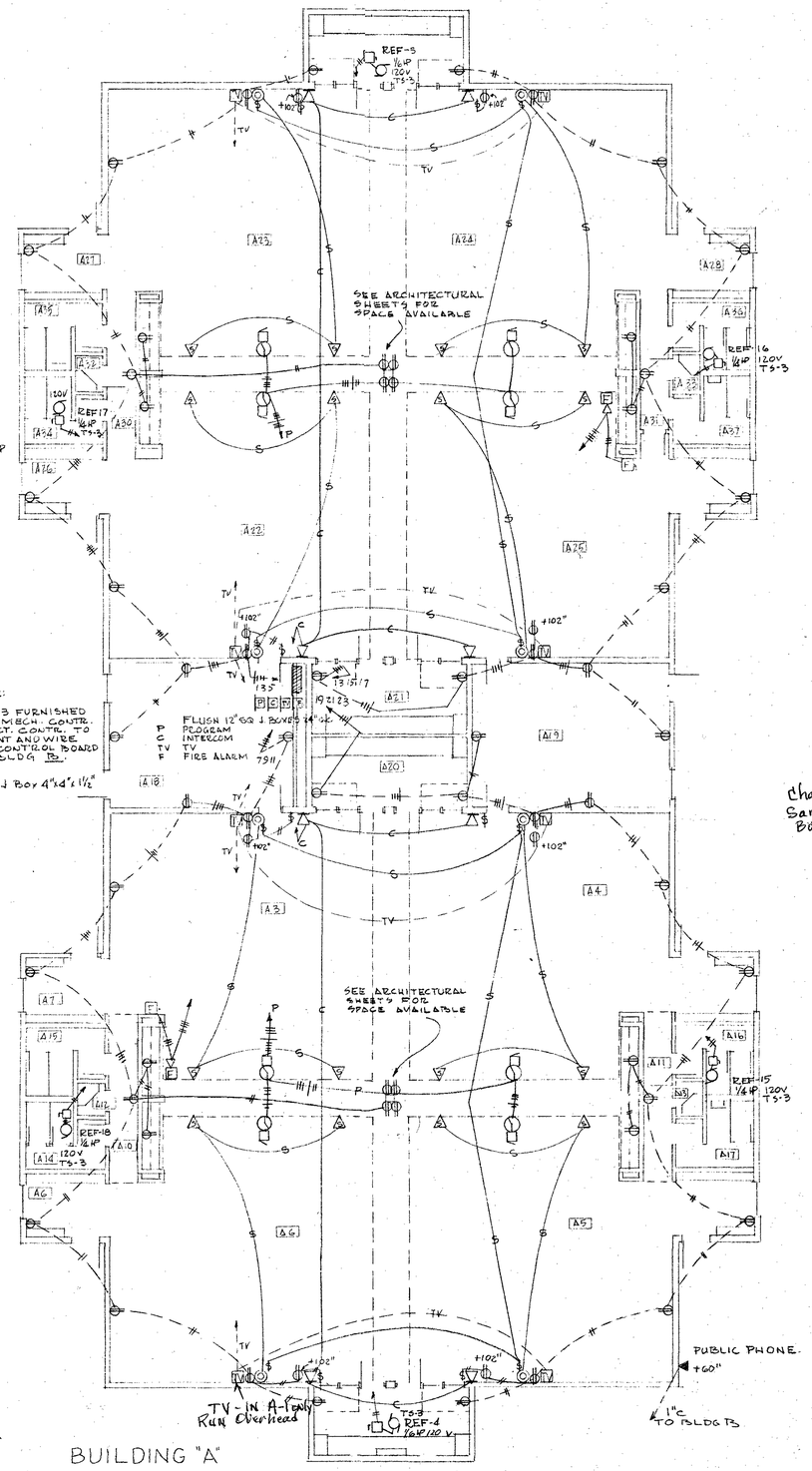
MAY BE SECOND SECTION TO PANEL C.

SEE MECH PLANS FOR EQUIP DETAIL, LOCATIONS.



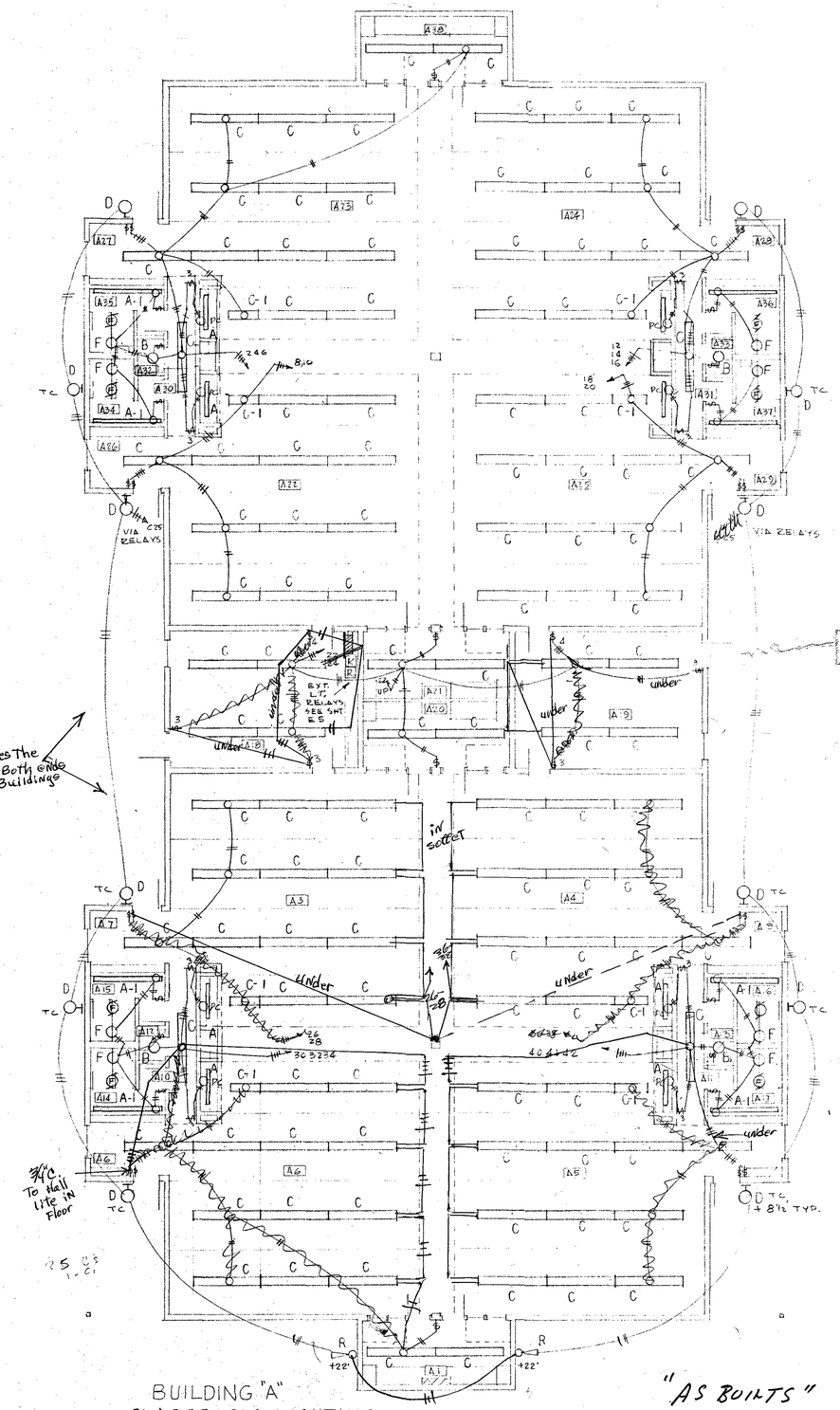
MECHANICAL ROOM PLAN SCALE ¼"=1'-0"

ABOVE ROOMS A21 & A20.



BUILDING "A"
CLASSROOM - POWER & SIGNALS
SCALE ⅛"=1'-0"

NOTE - TWO BLDG 'A's ARE REQUIRED
REFERRED TO AS A1 & A2. A2 IS NORTH BLDG.
A1 IS SOUTH BLDG



BUILDING "A"
CLASSROOM LIGHTING
SCALE ⅛"=1'-0"

"AS BUILTS"

8-4-32
16-3 48
32
112
4
116

REGISTERED PROFESSIONAL ENGINEER L.S. HORTON

	BUILDING "A"-LIGHTS, POWER & SIGNALS
	EVERGREEN SCHOOL
	JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON
LSH	JACK A EDSON AIA
	ARCHITECTURE & PLANNING
6512	128 EAST MAIN STREET MEDFORD, OREGON
OCT 14, 66	E1 OF E

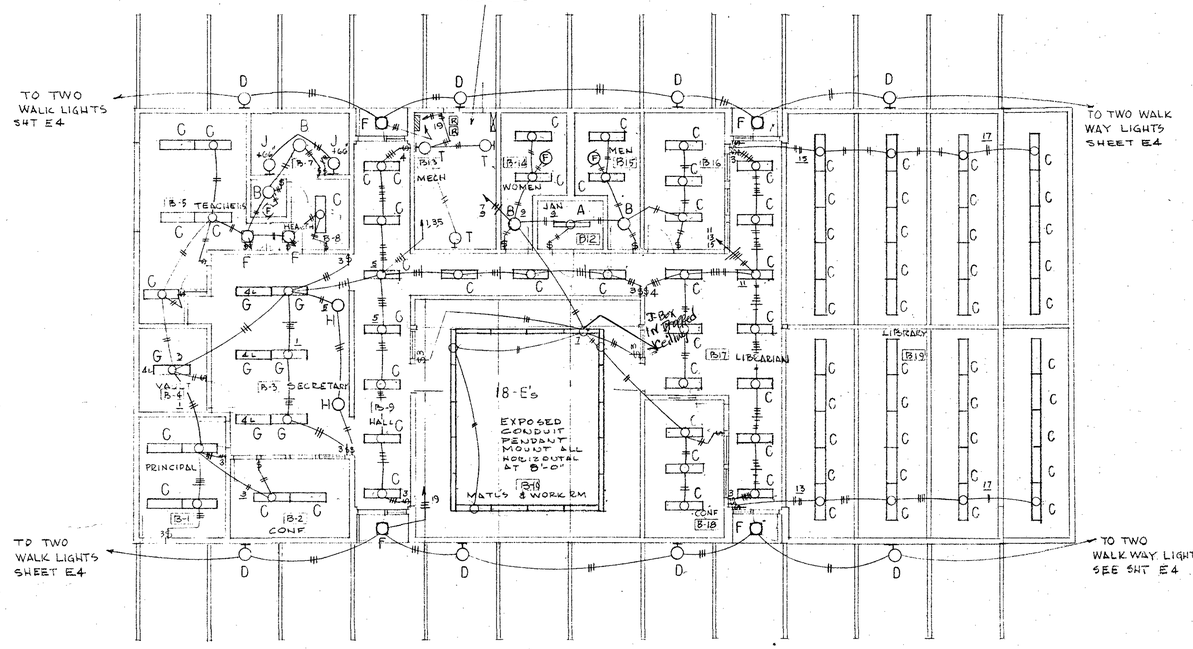
SOUTHERN OREGON STATIONERY

PANEL A 120/208 V 3Ø 4 WIRE 100 AMPERES
30 CIRCUITS SURFACE BOTTOM LUGS

WATTS	USE	CB	CCT	CCT	CB	USE	WATTS
1440	LIGHTS B-1, 3	1P20	1	2	1P20	RECEPT. B 5, 7, 9	1000
1510	B-4, 5, 6, 7, 8, 7		3	4		B 8, 3	
1100	B-9		5	6		B 10	
1080	B 10, 18		7	8		B 3, 5	
900	B 12, 14, 15, 16		9	10		B 1, 2, 4	
910	B 17		11	12		B 15, 16, 19	
1350	B 19		13	14		B 11, 10, 17	
1350	B 19		15	16		B 18, 19	
1200	B 19		17	18			
1400	EXTERIOR		19	20	2P30	FUTURE HOT WATER	2500
500	SPARE		21	22			
500	SPARE		23	24	3P40	ME-1	5 HP
500	SPARE		25	26			
500	SPARE		27	28	1P15	REF-1	1/4 HP
250	MECH CONTROL		29	30	1P20	SPARE	500

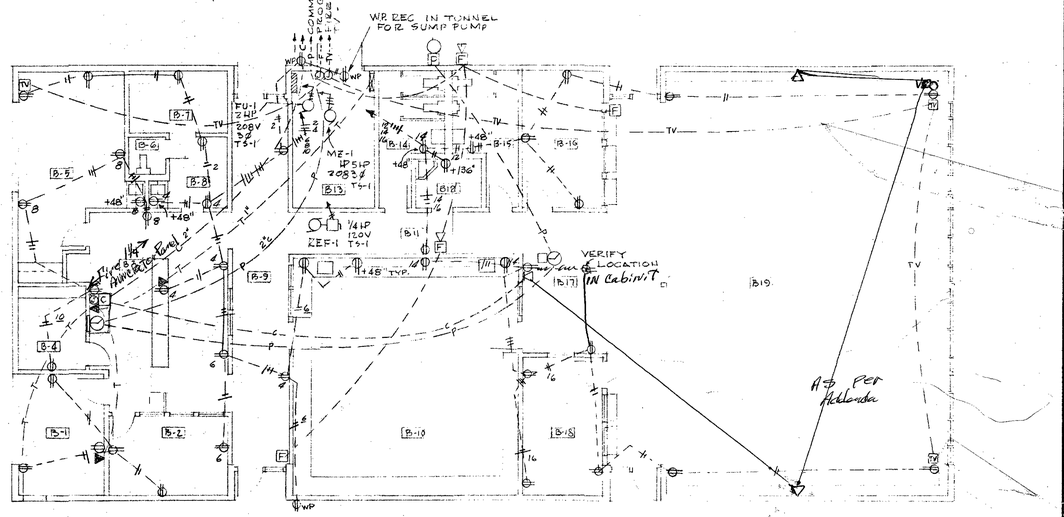
CONNECTED LOAD 25190 WATTS + 5 1/4 HP
AMPERES 85

NOTE: ADJUST LIGHTS TO AVOID MECH. EQUIPMENT. RELAYS ARE TO SWITCH EXTERIOR LIGHTS, SEE SHEET E5.

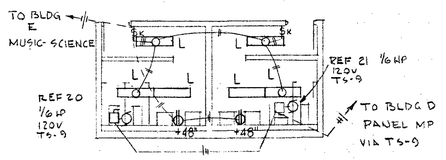


ELECTRICAL REFLECTED CEILING - LIGHTING 1/8"= 1FT
ADMINISTRATION BLDG "B"

NOTE: T5-1 IN MECH ROOM ON CONTROL BOARD
M.C TO FURNISH. E.C TO MOUNT & WIRE.



POWER AND SIGNALS
ELECTRICAL FLOOR PLAN 1/8"= 1FT-0"
ADMINISTRATION BLDG "B"



BUILDING "C" - LIGHTING & POWER

NOTE
T5-9 FURNISHED BY MECH CONTR. ELECTRICAL C. TO MOUNT & WIRE ON CONTROL PANEL ON BLDG D BOILER ROOM WALL.

Bulletin No. 1 Item No. 37
"AS BUILTS"

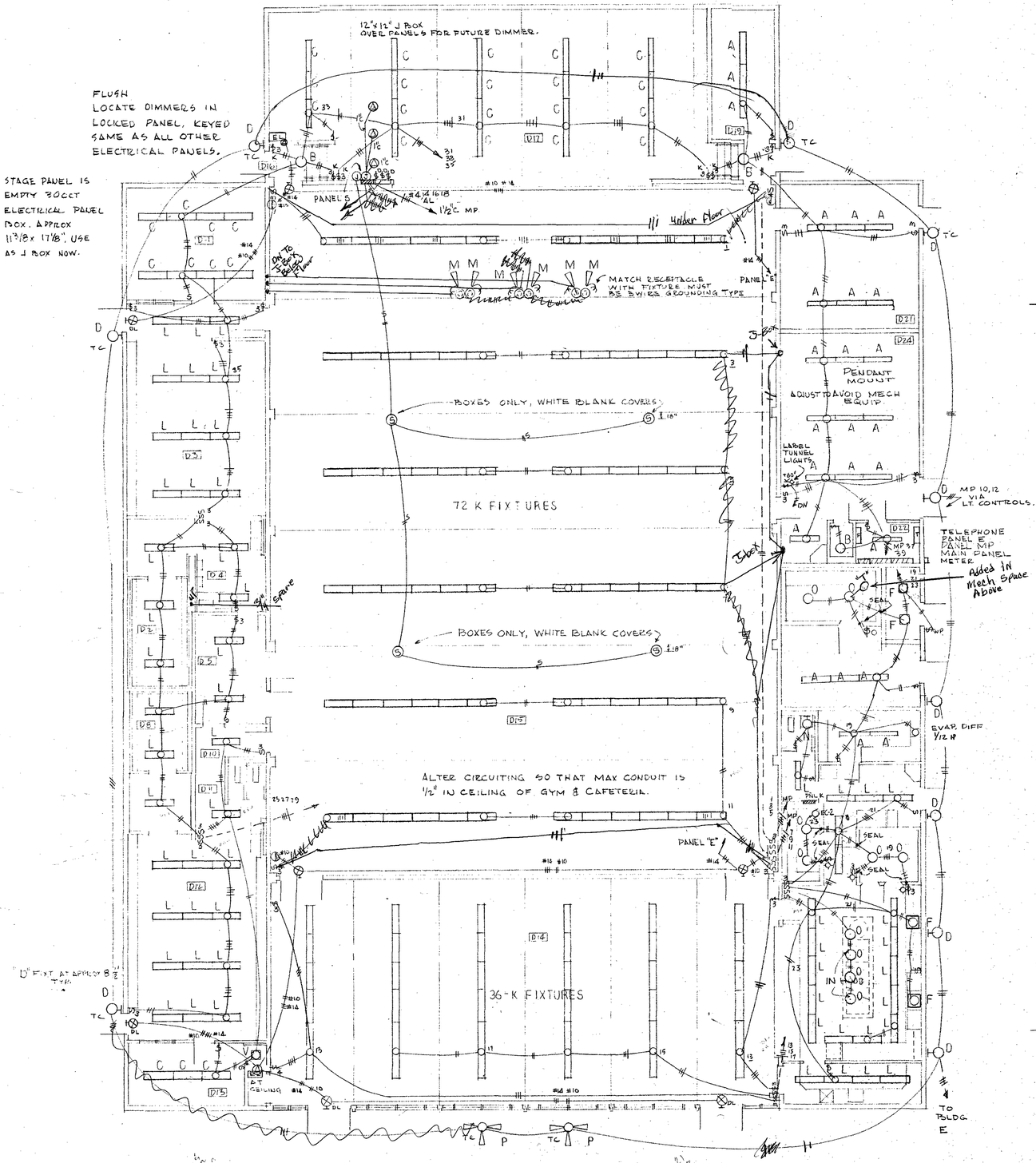
REGISTERED PROFESSIONAL ENGINEER L S Horton OREGON L. S. HORTON

BLDGS. "B" & "C" LIGHTS, POWER & SIGNALS
EVERGREEN SCHOOL
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

LSH
6512
OCT 14, 66

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

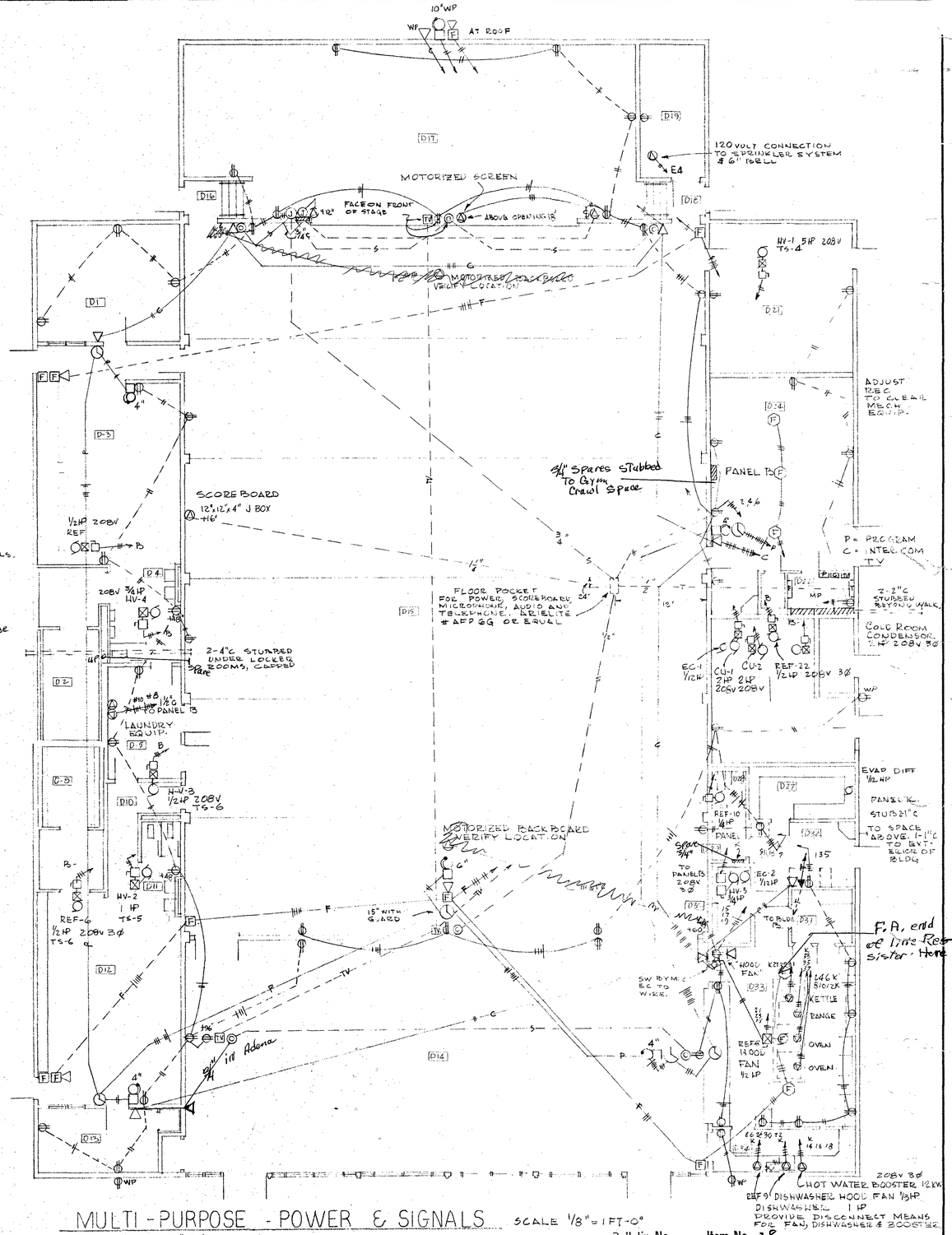
E 2
OF 5



BUILDING "D"
MULTI-PURPOSE LIGHTING

SCALE 1/8"=1FT-0"

NOTE: INSTALL "T" FIXTURES IN ROOF OF TUNNEL AT APPROX 50' INTERVALS BUT INCLUDE ONE AT EVERY CHANGE IN DIRECTION OF THE TUNNEL AND AT ENDS. TOTAL FIXTURES 11, TOTAL LENGTH OF CONDUIT APPROX 400', #10 WIRE.



MULTI-PURPOSE - POWER & SIGNALS SCALE 1/8"=1FT-0"
BUILDING "D"

Bulletin No. 1 Item No. 38

REGISTERED PROFESSIONAL ENGINEER L.S. Horton NOV 9 1965

"AS BUILTS"

BUILDING "D", LIGHTS, POWER & SIGNALS

EVERGREEN SCHOOL
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT OREGON

L S H	JACK A EDSON AIA
	ARCHITECTURE & PLANNING
6512	128 EAST MAIN STREET MEDFORD, OREGON
OCT 14, 66	

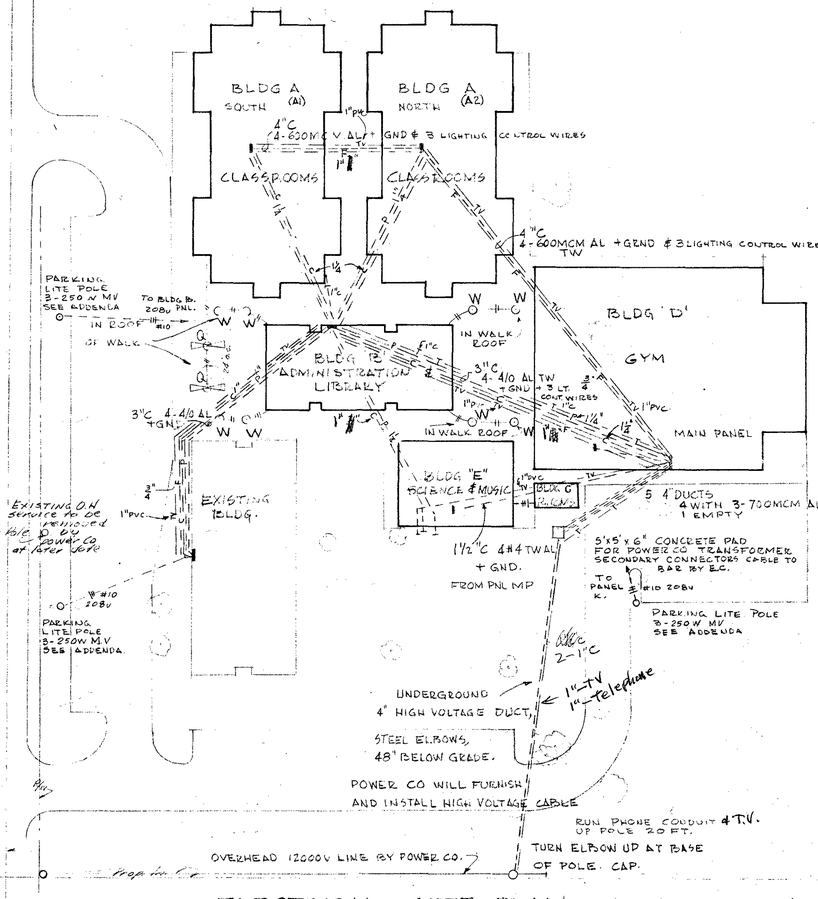
E 3
OF 5

SCIENCE-MUSIC PANEL

FLUSH BOTTOM LUGS — 30 CCTS 100A 3ϕ4W 120/208V 3P 70A MAIN CB.

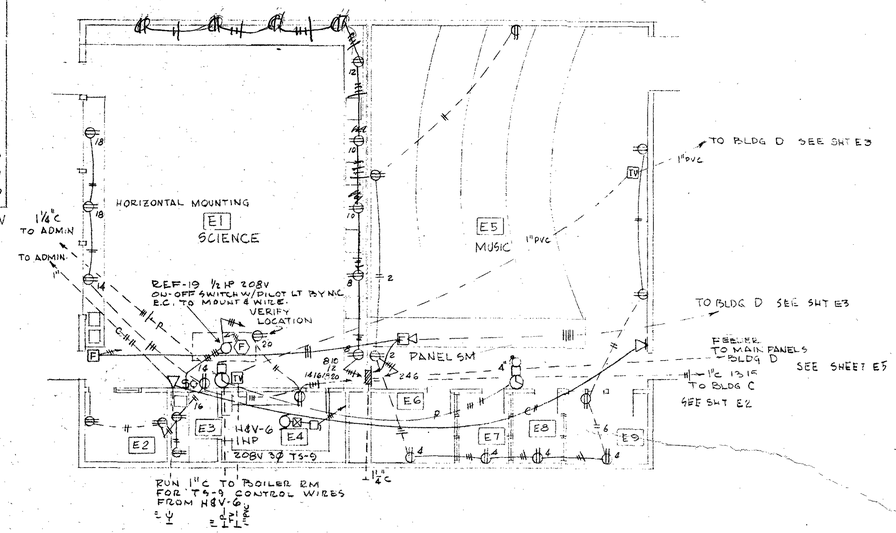
LOAD		CB	CCT	CCT	CB	USE	LOAD
1080	MUSIC LIGHTS	1P20	1	2	1P20	MUSIC REC.	540
1080	" "		3	4		" "	720
1080	" "		5	6		" "	540
1080	SCIENCE LIGHTS		7	8		SCIENCE REC.	360
1080			9	10			360
860			11	12			350
1000	BLDG G		13	14			360
1000	BLDG G		15	16			720
			17	18			350
1HP	H8V-6	3P20	19	20			360
			21	22		SPARES	500
			23	24		SPARES	500
½	REF-9	3P15	25	26		SPARES	500
			27	28		"	500
500	SPARE		29	30		"	500

TOTAL CONNECTED LOAD 15000W



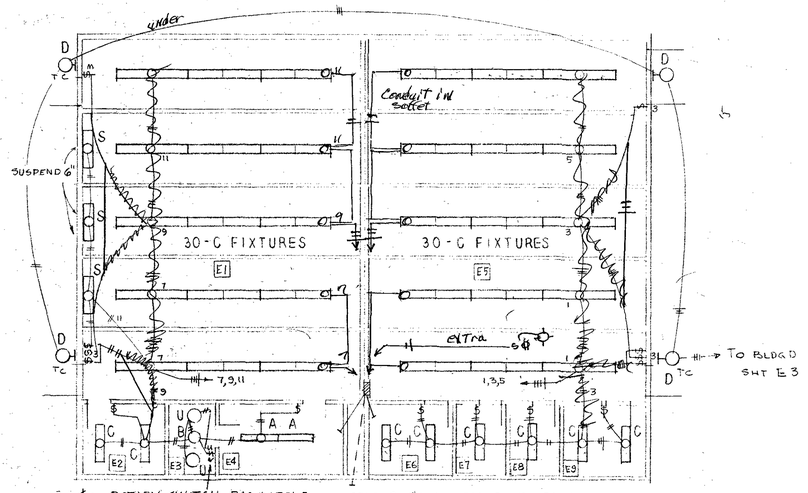
ELECTRICAL SITE PLAN SCALE 1"=40'-0"

NORTH



SCIENCE, MUSIC POWER & SIGNALS BLDG "E"

SCALE ⅛" = 1'-0"



SCIENCE, MUSIC LIGHTING BLDG "E"

SCALE ⅛" = 1'-0"

"AS BUILTS"

Bulletin No. 1 Item No. 39

REGISTERED PROFESSIONAL ENGINEER OREGON L. S. HORTON NOV. 9, 1971

SITE, BLDG "E", LIGHTS, POWER & SIGNALS

EVERGREEN SCHOOL

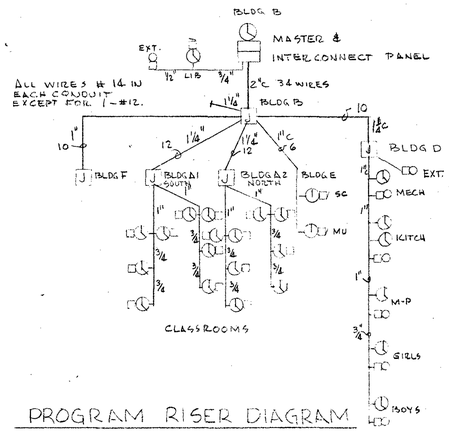
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

LSH | 6512 | OCT. 14, 66

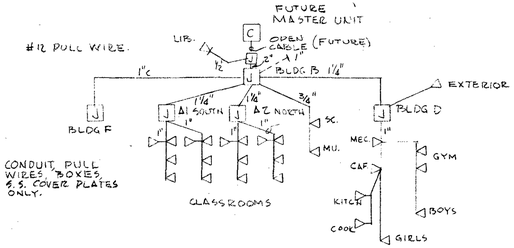
JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

E 4 OF 5

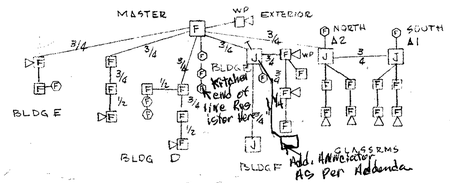
SOUTHERN OREGON STATIONERY



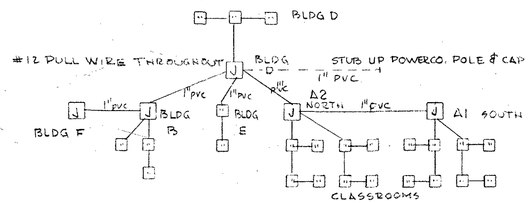
PROGRAM RISER DIAGRAM



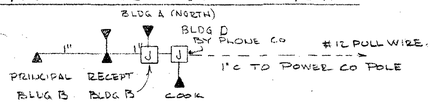
INTERCOMMUNICATIONS RISER DIAGRAM



FIRE ALARM RISER DIAGRAM



TELEVISION CONDUIT SYSTEM.



TELEPHONE CONDUIT SYSTEM

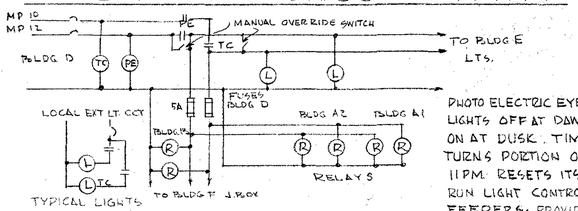


PHOTO ELECTRIC EYE TURNS LIGHTS OFF AT DAWN AND ON AT DUSK. TIME CLOCK TURNS PORTION OFF AT 11 PM. RESETS ITSELF AT NOON. RUN LIGHT CONTROL WIRES WITH FEEDERS. PROVIDE PROTECTED WIRING DIAGRAM AT OVERRIDE SWITCHES.

EXTERIOR LIGHTING CONTROLS

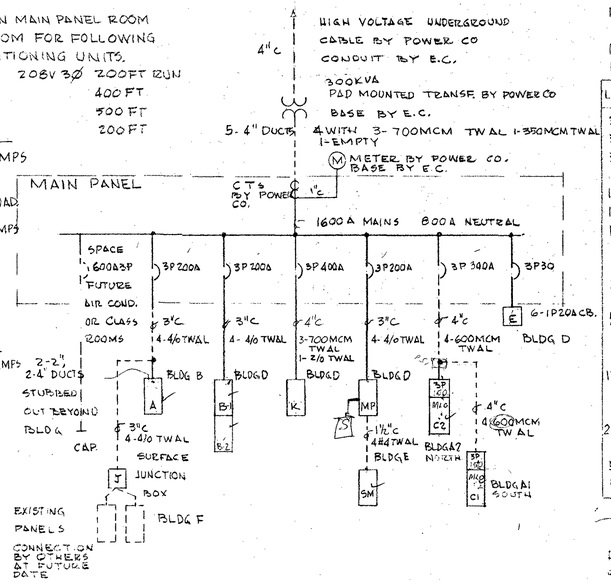
NOTE: PROVIDE SPACE IN MAIN PANEL ROOM OR IN BOILER ROOM FOR FOLLOWING FUTURE AIR CONDITIONING UNITS.

1.	75 AMPS	208V 3Ø	200 FT RUN
2.	185 AMPS		400 FT
3.	185 AMPS		500 FT
4.	60 AMPS		200 FT
	TOTAL 505 AMPS		

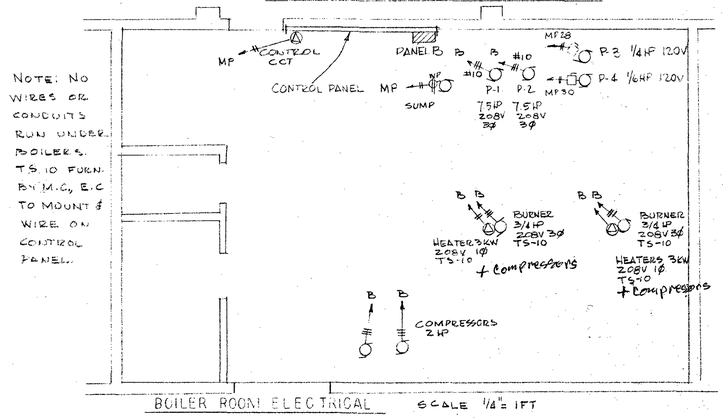
TOTAL PRESENT CONNECTED LOAD

PANEL A	25 KW + 5 HP	85 AMPS	
PANEL B	35 HP	136	
PANEL C-1	40 KW + 16 HP	155	
C-2	40 KW + 16 HP	155	
PANEL F	25 KW	70	
PANEL K	131 KW	364	
PANEL MP	50 KW	139	
TOTALS	301 KW + 72 HP	1104 AMPS	

PROVIDE PLASTIC NAME PLATE ON MAIN PANEL WITH ARCHITECT, ELECT. ENGINEER, ELECT. CONTRACTOR, SCHOOL & YEAR OF INSTALLATION ENGRAVED.



POWER RISER DIAGRAM



BOILER ROOM ELECTRICAL SCALE 1/8" = 1FT

BUILDING D

PANEL K 400 AMPERES 42 CCT 120/208V
FLUSH TOP LUGS 3-700 MCM TWAL 1-3/0 TWAL 4"C

LOAD	USE	CB	CCT	CCT	CB	USE	LOAD
360	KITCHEN RECEPT.	1P20	1	2			
360			3	4	3P70	OVEN	18 KW
360			5	6			
720	GYM & CAFETERIA REC.		7	8			
1000			9	10	3P70	OVEN	18 KW
1000			11	12			
1000			13	14			
360	KITCHEN REC		15	16	3P70	HOT WATER BOOSTER	15 KW
360			17	18			
360			19	20	1P15	SPARE	500 W
			21	22	1P15	DISHWASHER FAN	1/3 HP
½ HP	RANGE HOOD FAN	3P15	23	24	1P15	SPARE	500 W
			25	26			
			27	28	3P20	DISHWASHER	1 HP
12 KW	KETTLE	3P50	29	30			
			31	32	1P20	WARMING PANS	1800 W
			33	34			1800
21 KW	RANGE	3P90	35	36			1800
			37	38			1800
500	SPARE	1P20	39	40		SPARE	500
500	SPARE	1P20	41	42		SPARE	500

TOTAL CONNECTED LOAD 131 KW
364 AMPERES

PANEL MP 200 AMPERES 42 CCTS 120/208V
SURFACE TOP OR BOTTOM LUGS 4-4/0 AL TW 3"C

LOAD	USE	CB	CCT	CCT	CB	USE	LOAD
1080	MULTI PURPOSE LTS	1P20	1	2	1P20	MULTI PURPOSE REC	1000
			3	4		STAGE RECEPT	1000
			5	6		STAGE RECEPT	1000
			7	8		BOILER RM REC.	500
			9	10		EXTERIOR LTS	1500
1080	CAFETERIA LTS		11	12		EXTERIOR LTS	1500
			13	14			
			15	16	3P70	PANEL S STAGE LTS	7500
1195	KITCHEN LTS		17	18			
880			19	20			
1420			21	22	3P70	BLDG E PANEL SM	15000
1080	LOCKER ROOM LTS		23	24			
1080			25	26	1P20	SUMP PUMP	½ HP
550			27	28		P3 P4 VIA CONTROL PNL	¼ HP + ⅙
1080	STAGE LTS		29	30		REF 21, 20 ½ HEA	⅓ HP
1000	LOCKER RM LTS		31	32		REF-10	¼ HP
1080	LOCKER RM LTS		33	34		EC-1, EC-2, EVAP DIFF	¼ HP 3 2 Pole
1000	BOILER RM LTS		35	36		~~CONTROL CIRCUIT~~	250
1000	STORAGE LTS		37	38		~~SPARE~~ Out-Pole Mite	500
1100	TUNNEL LTS		39	40		SPARE	250
			41	42		SPARE	250

TOTAL CONNECTED LOAD 50000 WATTS
AMPERES 139

PANEL B-2 200 AMPERES 120/208
SURFACE TOP LUGS 3-4/0 TWAL 2½"C

LOAD	USE	CB	CCT	CCT	CB	USE	LOAD
			1	2			
7.5 HP	P-1	3P70	3	4	3P70	P-2	7.5 HP
			5	6			
3 KW	OIL HEATER	2P20	7	8	2P20	OIL HEATER	3 KW
			9	10			
1500	SPARE	3P30	11	12	3P30	SPARE	1500
			13	14			
			15	16			
1000	SPARE	3P15	17	18	3P15	SPARE	1000
			19	20			
	SPACE	2P20	21	22	2P40	SPACE	
			23	24			
	SPACE	2P20	25	26	2P30	SPACE	
			27	28			
			29	30			

PANEL B-2 MAY BE A SECOND SECTION OF PANEL B-1 WITH PROPER METAL DIVIDER ACCORDING TO CODE

PANEL B-1 200 AMPERES 120/208
SURFACE TOP LUGS 3-4/0 TWAL 2½"C

LOAD	USE	CB	CCT	CCT	CB	USE	LOAD
			1	2			
5 HP	HV-1	3P40	3	4	3P15	REF-6	½ HP
			5	6			
			7	8			
1 HP	HV-2	3P20	9	10	3P15	REF-7	½ HP
			11	12			
			13	14			
½ HP	HV-3	3P15	15	16	3P15	REF-22	½ HP
			17	18			
			19	20			
¾ HP	HV-4	3P15	21	22	3P20	CU-1	2 HP
			23	24			
			25	26			
¾ HP	HV-5	3P15	27	28	3P20	CU-2	2 HP
			29	30			
			31	32			
¾ HP	BURNER	3P15	33	34	3P20	COLD ROOM CONDENSOR	2 HP
			35	36			
			37	38			
2 HP	COMPRESSOR	3P20	39	40	3P20	COMPRESSOR	2 HP
			41	42			

TOTAL CONNECTED LOAD B-1, B-2, 3 ¾ HP
AMPERES 136

PANEL S 100 AMPERES 120/208V 3Ø 4W
FLUSH BOTTOM LUGS 24 CCTS 4-#4 RHW AL

LOAD	USE	CB	CCT	CCT	CB	USE	LOAD
1000	DIMMERS	1P20	1	2	1P20	SPACE	500
1000	"	1P20	3	4	1P20	SPARE	500
1000	"	1P20	5	6	1P20	SPARE	500
500	SPARE	1P20	7	8	1P20	SPARE	500
500	"	1P20	9	10	1P20	SPARE	500
500	"	1P20	11	12	1P20	SPARE	500
	SPACE		13	14		SPACE	
			15	16			
			17	18			
			19	20			
			21	22			
			23	24			

"AS BUILTS"
Bulletin No. 1 Item No. 40

SYMBOLS

- $ $3 $4 — WALL SWITCH SINGLE POLE THREE WAY & FOUR WAY, QUIET TYPE 20 AMP 120/277V
- $S — WALL SWITCH SIMILAR TO ABOVE BUT WITH PILOT LIGHT
- $D — 1000 WATT DIMMER SWITCH DOUBLE GANG, FULL RANGE, EQUAL TO HUNT PC1012
- $M — WALL SWITCH "UP" "OFF" "DOWN", SPRING RETURN TO OFF FOR MOTORIZED SCREEN
- DUPLEX CONVENIENCE RECEPTACLE 3W GROUNDED NEUTRAL 120V 15AMP
- SPECIAL OUTLET & CONNECTION TO EQUIPMENT INDICATED
- MOTOR OR FAN
- MAGNETIC STARTER OR RELAY
- DISCONNECT MEANS
- COMBINATION STARTER AND DISCONNECT
- INCANDESCENT SURFACE LIGHTING FIXTURE
- WALL LIGHTING FIXTURE
- RECESSED LIGHTING FIXTURE
- RECESSED FLUORESCENT FIXTURE
- SURFACE OR SUSPENDED FLUORESCENT FIXTURE
- J J — JUNCTION BOX SIZE AS REQUIRED
- SPOT OR FLOOD LIGHTS
- TELEPHONE OUTLET
- INTERCOM SPEAKER
- PUBLIC ADDRESS SYSTEM SPEAKERS
- F — FIRE ALARM BREAK GLASS STATION
- F — FIRE ALARM HORN
- PROGRAM CLOCK
- PROGRAM CLOCK WITH BUZZER
- PROGRAM BELL
- M — MICROPHONE OUTLET
- AUDIO VISUAL OUTLET
- TV — TELEVISION OUTLET
- FLUSH BOX
- SURFACE BOX — EL EMERGENCY LIGHTING PANEL (SEE SPECS.)
- FLUSH AND SURFACE PANELS
- UNDERFLOOR OR UNDERGROUND WIRING
- WALL OR CEILING WIRING
- HOME RUN OR DIRECTION OF RUN ALSO NUMBER OF CONDUCTORS
- F — FIRE ALARM CONDUIT & WIRING
- T — TELEPHONE CONDUIT
- ½ C — SIZE OF CONDUIT & NO OF WIRES FOR INTERCOM
- EXIT LIGHTS (SEE SPECS)
- WP — WEATHERPROOF RECEPTACLE GFI
- $E — STANDARD WALL SWITCH EXCEPT KEY ACTUATED
- F — AUTOMATIC FIRE ALARM STATION

REGISTERED PROFESSIONAL ENGINEER OREGON NOV 9, 1951 L.S. HORTON

PANELS, RISERS, SYMBOLS
EVERGREEN SCHOOL
JOSEPHINE COUNTY UNIT SCHOOL DIST

LSH	JACK A EDSON AIA
	ARCHITECTURE & PLANNING
6512	128 EAST MAIN STREET MEDFORD, OREGON
OCT 14, 66	

SOUTHERN OREGON STATIONERY

ROOM FINISH SCHEDULE

MARK	ROOM	FLOOR MAT	FLOOR FIN	BASE MAT	BASE FIN	WALL "A" MAT	WALL "A" FIN	WALL "B" MAT	WALL "B" FIN	WALL "C" MAT	WALL "C" FIN	WALL "D" MAT	WALL "D" FIN	CEILING MAT	CEILING FIN	TRIM MAT	TRIM FIN	REMARKS
F-1	CLASSROOM	EXIST CONC	EXIST	WOOD 3½/2	SGE	EXIST HARDBD	EXIST	EXIST	EXIST	EXIST Ⓓ	EXIST SGE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	NOTE: (ALL ROOM FINISHES THROUGH-OUT BUILDING) PATCH OR REPAIR ALL ROOM FINISHES OR MATERIALS DISTURBED OR EXPOSED BY REMODELING WORK, BUT NOT SPECIFICALLY NOTED ON THE DRAWINGS, TO MATCH EXISTING SIMILAR FINISHES OR MATERIALS
F-2	WORKROOM					EXIST Ⓓ SGE	EXIST SGE			EXIST Ⓓ	EXIST SGE							
F-3	CLASSROOM					EXIST Ⓓ SGE	EXIST SGE			EXIST Ⓓ	EXIST SGE							
F-4	CLASSROOM					EXIST Ⓓ	EXIST SGE			EXIST	EXIST SGE	Ⓓ EXIST HARDBD	SGE EXIST SGE					
F-5	CORRIDOR					EXIST	EXIST			EXIST	EXIST	EXIST HARDBD	SGE EXIST SGE					
F-6	ART		(ASPHALT TILE)	4" VINYL TOPSET	FACTORY	EXIST (PLASTER)	SGE		EXIST (MASONRY) SGE	EXIST	EXIST	EXIST (PLASTER)	SGE			EXIST WOOD	EXIST SGE	REPAINT EXIST. WINDOW & DOOR FRAMES & CASING EXT. PAINTED
F-7	WORK		(ASPHALT TILE)	4" VINYL TOPSET WOOD 3½/2	FACTORY SGE	EXIST (WALLBD) SGE Ⓔ	FWP SGE	EXIST (WALLBD) PLYWOOD	FWP LAM. PLAS.	EXIST WOOD/WALLBD PLYWOOD	FWP LAM. PLAS.	EXIST (PLASTER) WALLBD GYP. BD. Ⓐ	FWP SGE Ⓑ		FWP	EXIST WOOD	EXIST SGE	REPLACE ALL EXISTING DAMAGED OR OPEN-JOINTED ASPHALT TILE - PROVIDE NEW
F-8	SUPPLY			WOOD 3½/2 4" VINYL TOPSET	SGE FACTORY	EXIST	SGE	EXIST	SGE	EXIST	SGE	EXIST	SGE	EXIST	SGE	EXIST	EXIST	NEW TUB & DEMOLISHED PARTITION
F-9	MECH			EXIST	EXIST		EXIST		EXIST		EXIST		EXIST			EXIST	EXIST	REPAINT EXIST DOOR FRAME & CASING
F-10	GIRLS			WOOD 3½/2	SGE													NEW PLYWOOD PARTITION & GATES: SGE
F-11	ALCOVE						SGE		SGE		SGE							
F-12	JANITOR						EXIST		EXIST		EXIST	EXIST	EXIST					
F-13	TOILET																	
F-14	ALCOVE																	
F-15	BOYS		(N)									EXIST	EXIST					NEW PLYWOOD PARTITION & GATES: SGE
F-16	AUDIO-VISUAL					HARDBD	PAINT					EXIST SGL GYP. BD. Ⓐ	EXIST SGE Ⓑ					

ABBREVIATIONS

BLDG	BUILDING
CONC.	CONCRETE
EXIST.	EXISTING
EXT.	EXTERIOR
FWP	FLAT WALL PAINT
GYPBD.	GYPSUM BOARD
H.T.	HEIGHT
H.M.	HOLLOW METAL
LAM. PLAS.	LAMINATED PLASTIC
N.I.C.	NOT IN CONTRACT
O.C.	ON CENTERS
OPG	OPENING
REQ'D	REQUIRED
SCW	SOLID CORE WOOD
S.D.	SUCH DIMENSION
SGE	SEMI-GLOSS ENAMEL
S.S.	STAINLESS STEEL
WD	WOOD
WDO	WINDOW
@	AT
∠	ANGLE
PL	PLATE

DOOR SCHEDULE

MARK	SIZE	DOOR MAT.	DOOR TYPE	FRAME MAT.	FRAME TYPE	FINISH	REMARKS
1	2'-8" x 6'-8" x 1¾"	SCW	(A)	WD	(D)	DOOR: SGE FRAME: SGE	
2	2'-10" x 6'-8" x 1¾"	SCW	(B)	WD	(D)	DOOR: SGE FRAME: SGE	
3	UNASSIGNED						

GENERAL NOTES

(A) REMOVE DECAYED PORTION OF PLATE AND STUDS TO UNDERSIDE OF EXIST. SILL. REPLACE W/ PRESSURE TREATED PLATE, NEW STUDS, AND 1X4 FURRING @ 16" O.C. AND 1/4" HDBD. TO MATCH EXIST. GROUT OPG. UNDER PLATES.

(B) REMOVE DECAYED PORTION OF PLATE AND STUDS. REPLACE MATERIALS AS DETAILED - 3½/2 GROUT OPG. UNDER PLATES.

(B1) CHALKBOARD W/ FRAME - WEBER COSTELLO MONARCH VI UNITS COMPLETELY PREFABRICATED BY THE MANUFACTURER. CHALKBD "CROWNSITE" 1/4" THICK W/ 1/4" HARDBD BACKING. FRAME SHALL BE EXTRUDED ALUMINUM W/ SATIN FINISH. MOUNTING LIP APPROX. 6" H. TO UNDERSIDE OF EXIST. WOOD TRIM. SIZES AS SHOWN ON THE DRAWINGS.

(C) COMPLETE R.A. CHASES AS IN ROOM F-2. 1/4" HDBD ON 1X4 FURRING @ 16" O.C. APPROX. 6'-9" HT. INSTALL EXIST. GRILLES 13½" x 19".

(D) INSTALL NEW WD. FRAME - MATCH EXIST. FRAMES.

(E) INSTALL NEW 1/4" HDBD APPROX 6'-8" HT. PROVIDE FURRING AS NEEDED.

(F) REMOVE LOWER SHELF - RAISE COAT ROD APPROX. 14".

(G) REPLACE 12" x 12" R.A. GRILLE

(H) REMOVE EXISTING LOUVER, CLOSE OPG. PATCH WALL TO MATCH EXIST.

(J) REPLACE 1/4" HARDBD ON 5/8" GYPBD. ON 1X4 FURRING @ 8" O.C., AREA APPROX 48 SF

(K) EXPOSED HOT WATER PIPE @ TOP OF BASE TO BE RELOCATED.

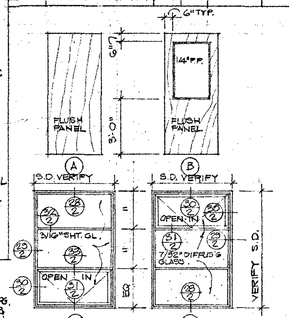
(L) COORDINATE PATCHING OF ROOF AND CEILING (MATCH EXIST.) W/ PIPE FOR ELECTRIC KILN.

(M) REPLACE CEILING MAT. TO MATCH EXISTING.

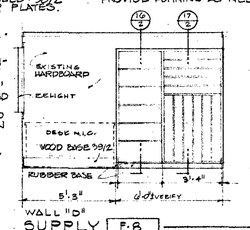
(N) REPLACE APPROX. APPROX. 96 SQ. FT. ASPHALT TILE @ TOILET COMPART.

NOTE: (WINDOW TYPES) VERIFY SASH DIMENSION FOR EACH OPG. REMOVE ALL EXIST. GLAZING & OPERABLE SASH (WHERE ALUMIN. WDO. IT IS CALLED FOR) REMOVE ALL EXISTING MUNTINS, SET NEW SASH W/ NEW WD. STOPS & TRIM IN EXISTING WD. FRAMES.

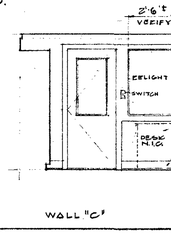
DOOR & WINDOW TYPES



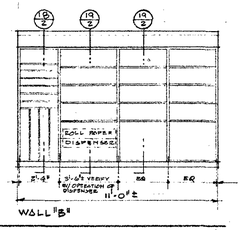
WALL "D" SUPPLY F-8



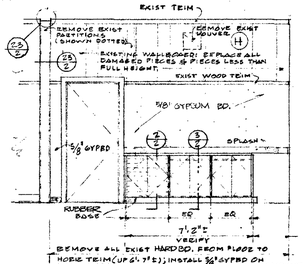
WALL "C"



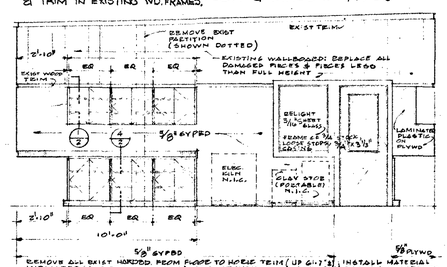
WALL "B"



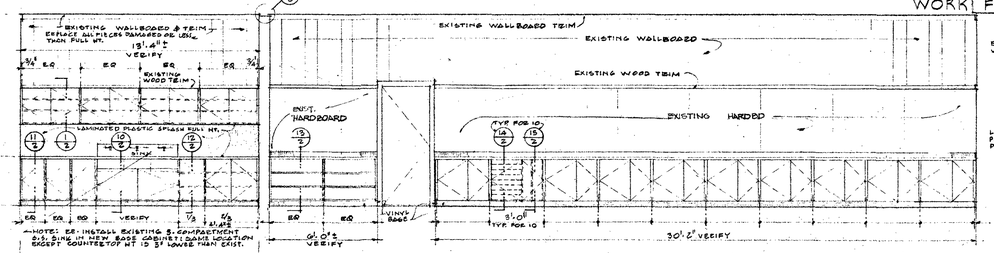
WALL "D" WORK F-7



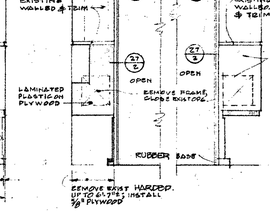
WALL "A"



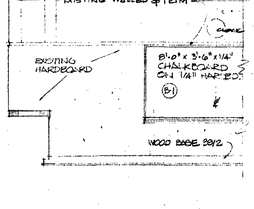
WALL "D" WORK F-7 & ART F-6



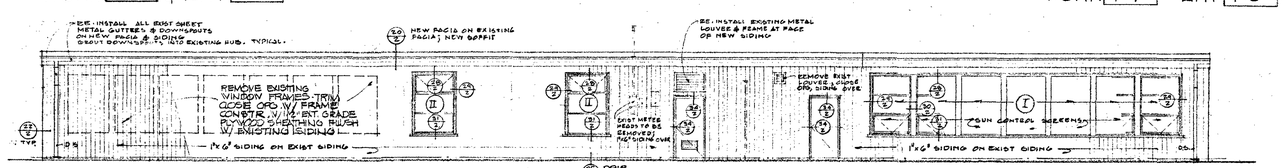
WALL "C" WORK F-7



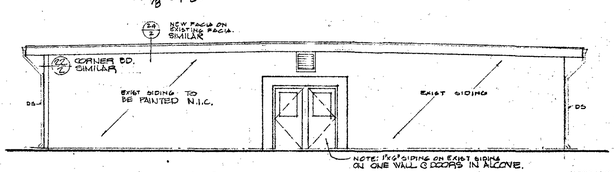
WALL "A" ART F-6



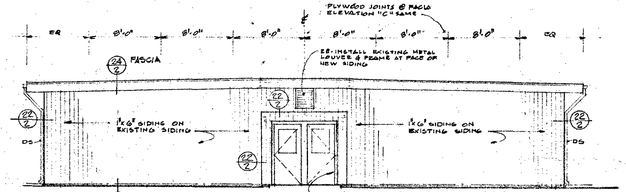
WALL "D"



EXTERIOR ELEVATION "D"
1/8" = 1'-0"

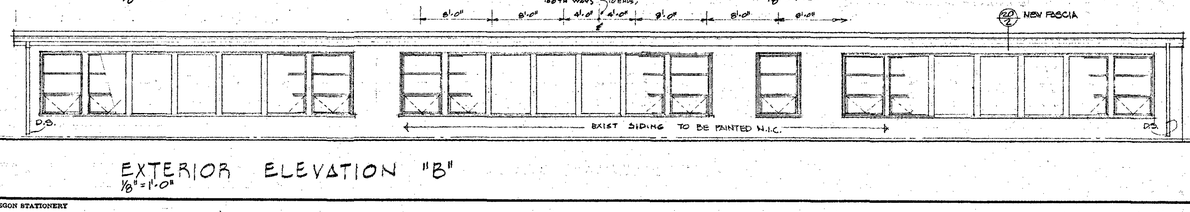


EXTERIOR ELEVATION "C"
1/8" = 1'-0"

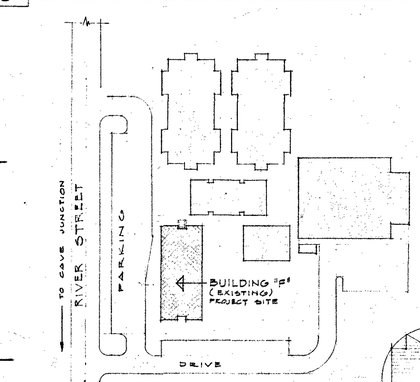


EXTERIOR ELEVATION "A"
1/8" = 1'-0"

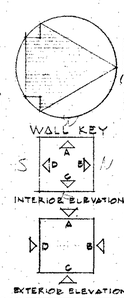
NOTE: LOCATION OF JOINTS IN PLYWOOD FASCIA & FACIA & SOFFIT, ELEVATIONS "B" & "D" - START WITH CENTER OF 8' PANEL AT MIDPOINT OF BUILDING & WORK BOTH WAYS TO ENDS.

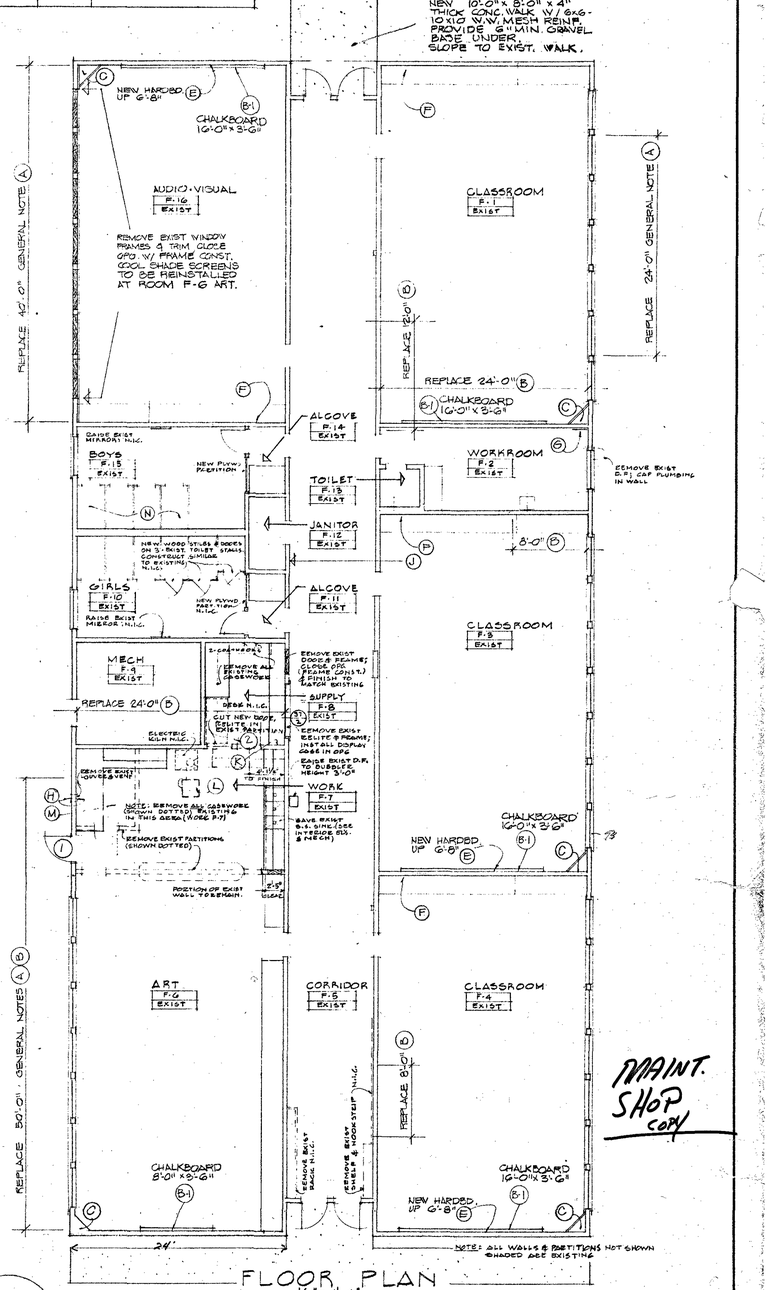


EXTERIOR ELEVATION "B"
1/8" = 1'-0"



EVERGREEN SCHOOL SITE
LOCATED APPROXIMATELY ¼ MILE WEST OF COVE JUNCTION
1" = 100'





FLOOR PLAN
1/8" = 1'-0"

MAINT. SHOP COPY

INDEX TO DRAWINGS

REGISTERED ARCHITECT JACK A. EDSON MEDFORD, OREGON STATE OF OREGON

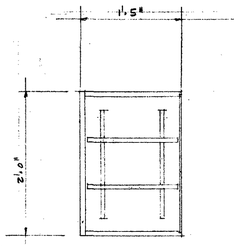
BLDG "F" PLAN, SCHEDULES, ELEV'S.

EVERGREEN SCHOOL - REMODEL ORIGINAL BUILD'G
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

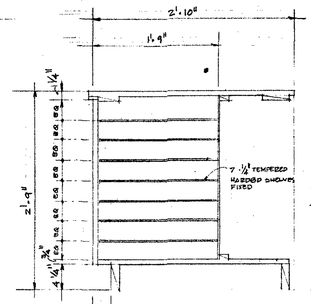
R.R.K.
J.A.E.

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

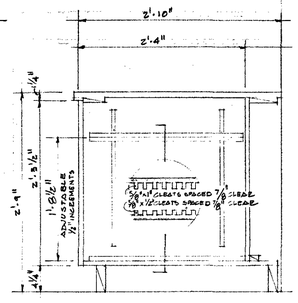
1



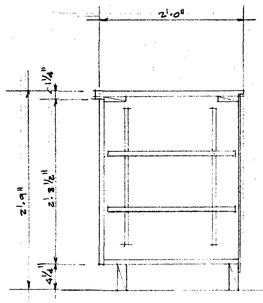
1/2 UPPER CABINET
1"=1'-0"



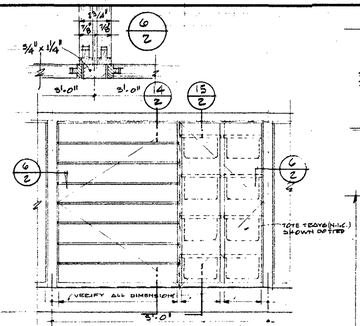
2/2 PAPER STOR.
1"=1'-0"



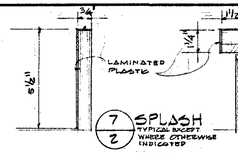
3/2 DRAWING BD. STOR
1"=1'-0"



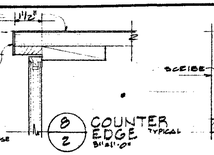
4/2 BASE CABINET
1"=1'-0"



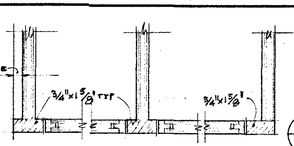
5/2 PROJECT STOR & TOTE TRAYS (ELEVATION)
1"=1'-0"



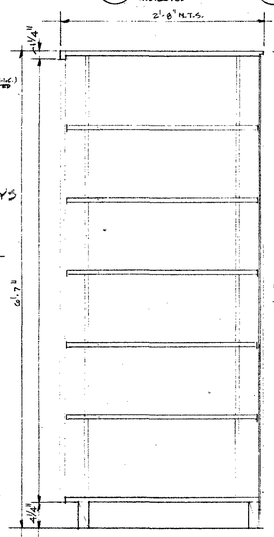
7/2 SPLASH
TYPICAL EXCEPT WHERE OTHERWISE INDICATED



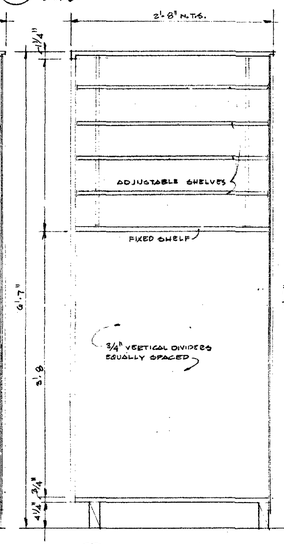
8/2 COUNTER EDGE
TYPICAL



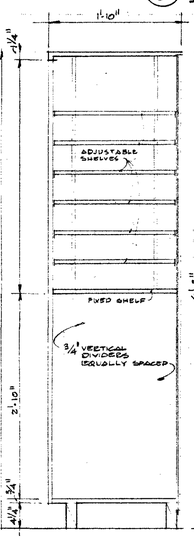
9/2 JAMBS & SUPPORT
TYPICAL EXCEPT WHERE OTHERWISE INDICATED
3"=1'-0"



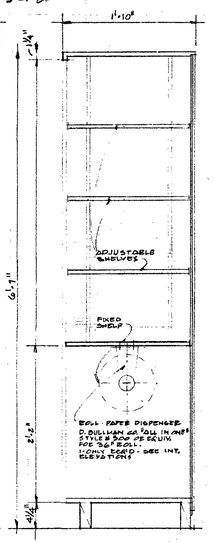
16/2 GENERAL STOR
1"=1'-0"



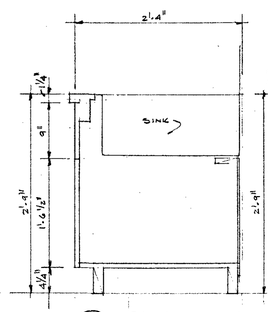
17/2 MATBD & PAPER
1"=1'-0"



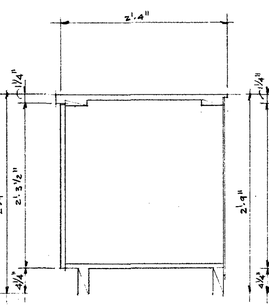
18/2 MATBD & PAPER
1"=1'-0"



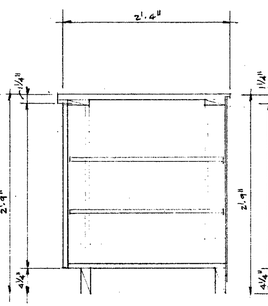
19/2 PAPER & GENERAL
1"=1'-0"



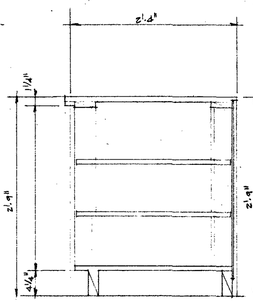
10/2 SINK CABINET
1"=1'-0"



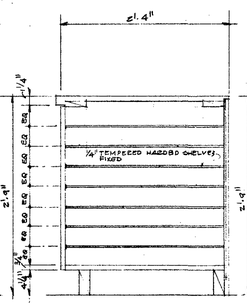
11/2 BULK STOR.
1"=1'-0"



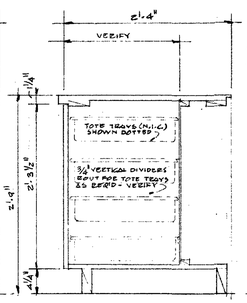
12/2 BASE CAB'T
1"=1'-0"



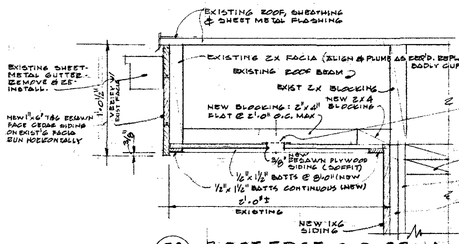
13/2 BASE CAB'T
1"=1'-0"



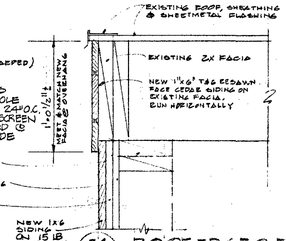
14/2 PROJECT STOR
1"=1'-0"



15/2 TOTE TRAYS
1"=1'-0"

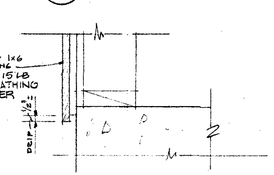


20/2 ROOF EDGE @ OVERHANG
1 1/2"=1'-0"

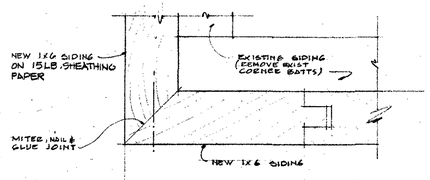


24/2 ROOF EDGE @ END WALLS
1 1/2"=1'-0"

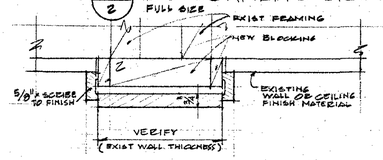
21/2 DELETED



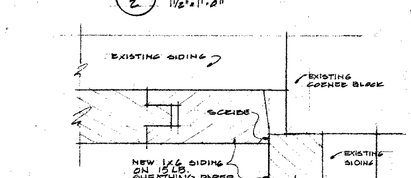
25/2 DRIP @ SIDING
1 1/2"=1'-0"



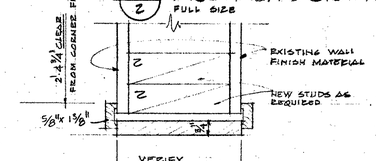
22/2 OUTCORNER @ SIDING
FULL SIZE



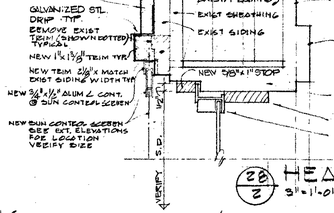
23/2 TRIM @ REMOVED PARTITION
3"=1'-0"



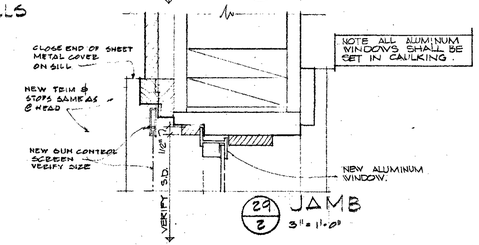
26/2 INCORNER @ SIDING
FULL SIZE



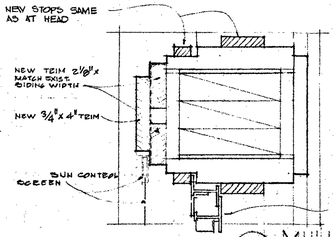
27/2 TRIM @ WING WALL
3"=1'-0"



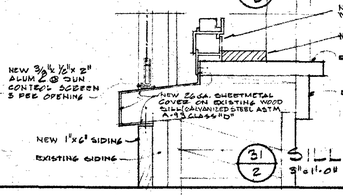
28/2 HEAD
3"=1'-0"



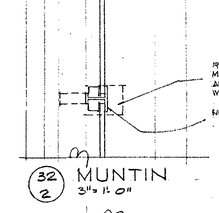
29/2 JAMB
3"=1'-0"



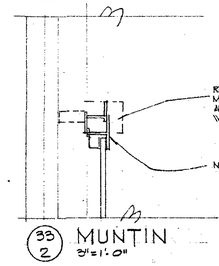
30/2 MULLION
3"=1'-0"



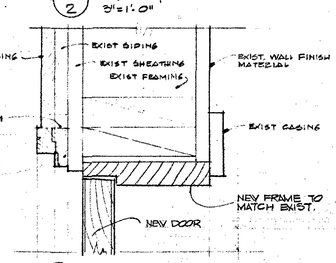
31/2 SILL
3"=1'-0"



32/2 MUNTIN
3"=1'-0"

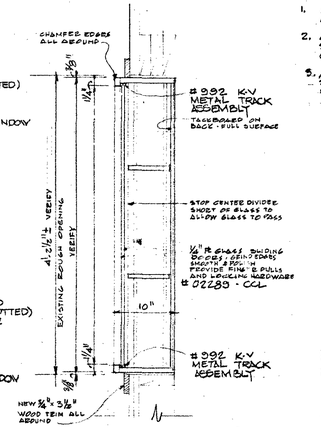


33/2 MUNTIN
3"=1'-0"

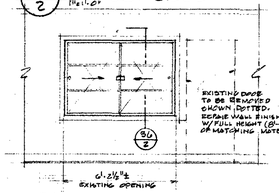


34/2 JAMB: HEAD SIM.
3"=1'-0"

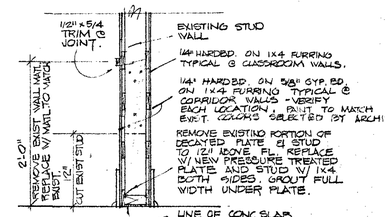
35/2 DELETED



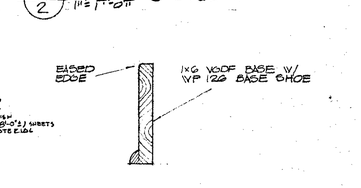
36/2 DISPLAY CASE
1"=1'-0"



37/2 ELEV. @ DISPLAY CASE (IN CORRIDOR)
1/2"=1'-0"



38/2 SPLICE @ STUD
1 1/2"=1'-0"



39/2 WOOD BASE DETAIL
3"=1'-0"

GENERAL NOTES: CASEWORK

1. ALL SHELVING SHALL BE ADJUSTABLE UNLESS OTHERWISE NOTED
2. ALL COUNTERTOPS, SIDE & BACKSPLASHES & SPLASH EDGES SHALL BE FINISHED W/ LAMINATED PLASTIC UNLESS OTHERWISE SPECIFIED
3. ALL CASES INSTALLED AGAINST WALL SHALL HAVE TYPICAL SIDE & BACKSPLASHES AT ADJACENT WALLS UNLESS OTHERWISE INDICATED.

REGISTERED ARCHITECT JACK A. EDSON MEDFORD, OREGON STATE OF OREGON

CASEWORK & DETAILS

EVERGREEN SCHOOL - REMODEL ORIGINAL BUILDG
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

R.R.K.	JACK A EDSON AIA
J.A.E.	ARCHITECTURE & PLANNING
6518	128 EAST MAIN STREET MEDFORD, OREGON

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SOUTHERN OREGON STATIONERY

DIVISION A - SCHEDULE OF DRAWINGS

ARCHITECTURAL DRAWINGS:
1 Plan, Schedules & Elevations
2 Casework & Details
3 Specifications
4 Specifications

MECHANICAL DRAWING:
M-1 Plan & Schedules

ELECTRICAL DRAWING:
E-1 Plan & Schedules

DIVISION B - INVITATION TO BIDDERS

You are invited to bid (to include General, Mechanical and Electrical Work) for the project described in the specifications and accompanying drawings. Your attention is called to specific instructions regarding bid requirements under articles entitled Contractor's Liability Insurance, Guaranty Bonds, and Bid Guarantee in DIVISION 1, SPECIAL CONDITIONS.

Sealed bids in duplicate will be received by Nettie Schweinfurt, District Clerk at Josephine County School District offices, 706 N. W. "A" Street, Grants Pass, Oregon until 8:00 P.M., Pacific Daylight Time, Monday, August 7, 1967 for the remodel of the Existing Evergreen School located at Cave Junction, Oregon. Bids received after this time will not be considered. Bids will be opened and publicly read aloud at the above stated time and place.

Plans and specifications may be obtained after July 24, 1967 from the School District Office. One set of plans may be obtained by approved General Contractors upon deposit of $25.00. A limited number of additional sets or copies of individual drawings and specification pages will be available and may be obtained for the cost of reproduction.

Attention is called to the bidders prequalification requirements of Sections 279.012 to 279.024, inclusive, O.R.S., which must be filed with the Clerk of the School Board ten (10) days before the date of opening of bids and for which forms may be obtained from the District Office.

The successful bidder will be required, within ten (10) days after the award of the contract, to file Contract Security in accordance with the specifications and to execute the Contract in three counterparts, and to provide Contractor's Liability Insurance as specified.

DIVISION 1 - SPECIAL CONDITIONS

Section 1A - General Requirements

1. SPECIAL NOTE: "The General Conditions of the Contract for the Construction of Buildings, September 1963 Edition, Form A-201", issued by the American Institute of Architects, are hereby considered to be a part of these specifications and are to be included without waiver of any condition, except as hereinafter specified. These General Conditions may be obtained at the office of the School District.

2. SPECIAL CONDITIONS: These Special Conditions and Specifications herewith shall be subject to all the requirements of the General Conditions, Form A-201, except that these Special Conditions shall take precedence over and modify any pages or statements of the General Conditions and shall be used in conjunction with them as part of the Contract Documents.

3. COPIES OF DRAWINGS AND SPECIFICATIONS FURNISHED: Article 4 "Copies Furnished" shall be modified by adding the following: "The District will furnish the Contractor free of charge not more than eight copies of all drawings and specifications. The Contractor shall pay the cost of reproduction for all other copies of drawings and specifications furnished to him."

4. PROTECTION OF WORK AND PROPERTY: Article 12, "Protection of Work and Property" shall be supplemented as follows: At all times provide protection against weather - rain, storms, frost or heat, so as to maintain all new work, material, apparatus, furnishings and fixtures free from injury or damage. At end of day's work, all existing work likely to be damaged shall be covered. Any work damaged by failure to provide protection above required shall be removed and replaced with new work at Contractor's expense.

5. CONTRACTOR'S LIABILITY INSURANCE: Article 27, "Contractor's Liability Insurance" shall be modified by the following specific requirements: "The Contractor shall, throughout the life of this contract, maintain liability insurance as described in Article 27. The policy shall be written to protect the Owner, the Architect, and any one of their respective agents, and shall be placed with a surety acceptable to the Owner. Work shall not commence until required insurance has been obtained and approved by the Owner. If directed to do so, the Contractor shall furnish copies of insurance policies as required as well as a receipt evidencing full premium payment. The amounts of such liability insurance shall not be less than: (1) Bodily Injury Liability Insurance in an amount not less than One Hundred Thousand Dollars ($100,000) for injuries, including wrongful death to any one person and subject to the same limits for each person in an amount not less than Three Hundred Thousand Dollars ($300,000) on account of one accident. (2) Property Damage Insurance in an amount not less than Fifty Thousand Dollars ($50,000) for damage on account of any one accident, and in an amount not less than One Hundred Thousand Dollars ($100,000) for damages on account of all accidents.

6. GUARANTY BONDS: Article 30 "Guaranty Bond" shall be modified as follows: "The successful bidder must deliver to the Owner an executed Payment and Performance Bond in an amount equal to one hundred percent (100%) of the accepted bids as security for the faithful performance of the contract and the payment of all bills in connection therewith. The surety shall be approved by the State in which the project is located and the bond, written to comply in all respects with the provisions of O.R.S. Chapter 279, must be approved by the Owner prior to execution of the formal contract."

7. CLEANING UP: Article 44 "Cleaning Up" shall be supplemented as follows: "Remove all putty, dirt, paint, grease, etc. from all surfaces. Clean all finish tile and plumbing fixtures and thoroughly wash with soap and water. Clean all finish hardware. Immediately before turning the building over to the Owner wash and clean all glass, exposed aluminum window frames and clean all resilient floor coverings with an approved cleaning solution. Leave floors clean and ready for waxing by the Owner.

8. BID GUARANTEE: Bids shall be accompanied by a bid guarantee of not less than five percent (5%) of the amount of the bid, which may be a Bid Bond, certified check, or cashier's check made payable to the Owner. Such bid bond or check shall be submitted with the understanding that it shall guarantee that the bidder will not withdraw his bid for a period of thirty (30) days after the scheduled closing time for the receipt of bids; that if his bid is accepted, he will enter into a formal contract with the Owner in accordance with the Form of Agreement included as a part of the Contract Documents, and that the required Performance Bond will be given; and that in the event of the withdrawal of said bid within said period, or the failure to enter into said contract and give said bonds within ten (10) days after he has received notice of acceptance of his bid, the bidder shall be liable to the Owner for the full amount of the bid guarantee as representing the damage to the Owner on account of the default of the bidder in any particular hereof.

9. SUBSTITUTIONS: Bids must be based upon the specific articles and materials named in the specifications. Substitutions may be made ONLY under the following conditions:

   A. Seven or More Days Prior to Bid Opening: Prime bidders may submit to the Architect written requests for approval of articles or materials which they guarantee equal or superior to those specified. Such requests shall be accompanied by complete descriptions and technical data. Approval or rejection of the proposed substitution will be made by bulletins issued to all bidders.

   B. At the Time Bids are Received: Prime bidders may submit, on a separate sheet enclosed with the bid form, a list of proposed substitutions which they are willing to guarantee, and stating the additions to or deductions from bid prices in case substitutions are allowed. Technical data shall be submitted, as above. The Owner reserves the right to reject all such proposals, and they will not be used to determine the low bid.

   C. After the Contract is Signed: Approval of substitutions will be made only in exceptional cases where the Contractor submits evidence satisfactory to the Architect that, through no fault of his own, specified or otherwise approval items cannot be obtained in time to avoid delay to the work. In any case, substitutions are subject to the approval of the Architect.

10. SPECIFICATION WORDING: These specifications are of the abbreviated or "streamlined" type and frequently include incomplete sentences. Words such as "shall," "shall be", "the Contractor shall" and similar madatory phrases shall be supplied by inferences in the same manner as they are in a note on the drawings. The Contractor shall provide all items listed and perform all operations required, and shall furnish all labor, materials, equipment, services and incidentals required for their completion.

11. SPECIFICATION DIVISIONS: The specifications have been set up in Divisions conforming roughly to customary trade practice for the convenience of Contractor only. The Architect is not bound to define the limits of any subcontractors.

12. MANUFACTURER'S DIRECTIONS: All manufactured articles, materials, and equipment shall be applied, installed, connected, erected, used, cleaned and conditioned in accordance with manufacturers' directions unless otherwise specified.

13. COOPERATION:

   A. The Owner reserves the right to enter upon the premises, to use same, and to have work done by other contractors, or to use parts of the work of this Contractor, before the substantial or final completion of the work, it being understood that such use by the Owner in no way relieves the Contractor from full responsibility for his entire work until final completion of his contract.

   B. If, in the judgment of the Architect, it becomes necessary at any time during the progress of the work, in order to accelerate the work of this Contractor, or the work being done by others under separate contracts, this contractor, when ordered and directed by the Architect, shall cease his work at any particular point temporarily and transfer his men to such other point or points, and execute such portions of his work as may be required by the Architect.

14. WHERE REQUIRED: The locations of materials or articles given in the specifications under the heading of "Where Required" is for a guide and may not include every location where such materials or articles are required. The Contractor shall consult the drawings for additional locations where such materials or articles are required and shall provide them as specified for the listed items.

15. EXAMINATION OF SITE: All bidders are required to visit the site of the work and to thoroughly inform themselves as to existent physical conditions. They shall inform themselves as to conditions bearing upon transportation, disposal, storage of materials, availability of water, electric power, labor, etc. Any failure of a bidder to fully acquaint himself with both site and local conditions shall not relieve him from the responsibility for estimating properly the cost of successfully performing the work.

16. REPLACEMENT OF DAMAGED GLASS: The Contractor shall replace before completion of project all damaged, broken or scratched glass of every description.

17. TIME OF COMPLETION: Each bidder shall state in his bid, in the space provided therefore in the bid form, the number of consecutive calendar days which he will require to substantially complete the work, and shall fully complete it not more than 30 calendar days thereafter.

18. SUBSTANTIAL COMPLETION: "Substantial Completion" where used in the Contract Documents shall be understood to mean the date when the Architect issues the final certificate of payment.

19. GUARANTEES: Unless otherwise stipulated, the General Contractor shall provide the Owner at the completion and acceptance of the project with a letter of guarantee stating that the work will be free from defects for a period of one year and that if such defects do occur, he will correct the work and any resultant damage to other work to the Owner's satisfaction without further payment.

20. WORKMANSHIP: It is the true and specific intent of these specifications that workmanship on all phases of the construction and embracing all the trade sections shall be of high quality performed by workmen skilled in their trade and performing their work only according to the Standards of Best Practice of the trade.

21. MATERIALS: All materials shall be manufactured within the continental limits of the United States unless otherwise approved as per 110 of Special Conditions.

22. FIRE INSURANCE: The Owner will maintain fire insurance on the structure and on materials stored on the site or incorporated into the structure at all stages of completion to the full replacement value thereof.

23. PREVAILING WAGE RATES: Special attention is called to the provisions of O.R.S. 279.350, O.R.S. 279,352 and O.R.S. 279.354 concerning the payment of prevailing wages on public work in the various trade catagories which will be required under this contract. Monthly affidavits certifying payment of prevailing wages will be required of the Contractor on the project.

24. SUPERINTENDENCE SUPERVISION: The same superintendent shall be maintained continuously on the project from beginning to completion unless a change is approved by the Owner.

Section 1B - Allowances

1. GENERAL CONDITIONS: The General Conditions and Special Conditions shall govern this section of the work.

2. WORK INCLUDED: Finish Hardware, Division 8.

DIVISION 2 - SITE WORK

Section 2A - Demolition

1. GENERAL:
   A. Demolition shall include all existing portions of structures noted to be demolished.
   B. This work shall include, but not be limited to Building "F".
   C. Obtain and pay for all permits as required.
   D. Protect and maintain all conduits, drains, sewers, pipes and wires that are to remain on the property.
   E. Provide, erect and maintain all fences, bracing, shoreup, lights, barricades, warning signs, and guards as necessary for the protection of streets, sidewalks, curbs, utilities, equipment on the site and adjoining properties.
   F. Remove all protection when work is complete and/or when authorized to do so by the Architect.

2. CLEAN-UP:
   A. Debris shall not accumulate on the site. Salvable material, not reused in construction, shall be removed. Sale of material on the site is prohibited.
   B. Removal shall be in such a manner as to prevent spillage. Pavements and areas adjacent to the site shall be kept clean and free from mud, dirt and debris at all times.

DIVISION 3 - CONCRETE - (None in this Project)

DIVISION 4 - MASONRY - (None in this Project)

DIVISION 5 - METALS - (None in this Project)

DIVISION 6 - CARPENTRY

Section 6A - Carpentry and Millwork

1. GENERAL CONDITIONS: The General Conditions and Special Conditions shall govern this section of the work.

2. WORK INCLUDED: All carpentry, millwork and other related items including, but not limited to, the following principal items:
   A. Rough Carpentry
   B. Finish Carpentry and Millwork
   C. Finish Hardware Installation
   D. Wood Door and Frame Installation

3. WORK BY OTHERS:
   A. Gypsum Wallboard, Division 9 - Finishes
   B. Painting - Division 9 - Finishes
   C. Wood Doors - Division 8 - Doors, Windows and Glass

4. GENERAL - Lumber Grading Rules:
   A. Soft Woods: West Coast Lumbermen's Association (W.C.L.A.) Standard Grading and Dressing Rules No. 15.
   B. Soft Wood Plywood: Douglas Fir Plywood Association Rules (D.F.P.A.).
   C. Hardwoods: National Hardwood Lumber Association Rules (N.H.L.A.).
   D. CEDAR: Western Pine Association Standard Grading Rules.

5. MOISTURE CONTENT: Percentage of Weight of Oven Dry Wood:
   A. All lumber specified to have a maximum moisture content of 16 percent or less shall be kiln dried (K.D.).
   B. Furnish moisture content certificates, if requested by the Architect, for any items of lumber specified. Such certificates shall be in strict accordance with W.C.L.A. Standard Certification practice.
   C. In the absence of a stated maximum allowable moisture content for items of lumber specified to be kiln dried, W.C.L.A., paragraph 2g (aa) and (bb) shall govern.
   D. Moisture content for interior finish shall average 10 percent with no portion of a shipment exceeding 15 percent.
   E. Moisture content for rough and framing lumber, shall average not over 19 percent with no portion of a shipment exceeding 24 percent.
   F. Moisture content for rough and framing lumber, shall average not over 19 percent with no portion of a shipment exceeding 24 percent.

6. ROUGH HARDWARE:
   A. General: Provide as required for proper installation of Carpentry and Millwork. Types, sizes and shapes as required to hold members securely together, in place or to other materials. Exposed exterior hardware shall be galvanized after fabrication.
   B. Washers and Nuts: Provide washers and nuts for all bolts for securing wood together and to other materials.

7. FINISH HARDWARE INSTALLATION: General - Care for and install all finish hardware provided under Section 8B. Adjust movable parts of all finish hardware to operate perfectly at time of final acceptance. Make further adjustments as required within one year after completion. Tighten and adjust all existing finish hardware.

8. ROUGH CARPENTRY
   A. Material: All material shall be Douglas Fir, Standard and Better, surfaced 4 sides, unless otherwise noted.
      (1) New Plates on existing concrete footings and slabs: Pressure Treated Douglas Fir Standard Full Cell pressure treatment with "Chemonite" or approved equal. Construction par. 122b and 123b.
      (2) Studs: Construction par. 122b and 123b.
      (3) Blocking, bucks, furring, stripping and grounds: Standard par. 122c and 123c.
      (4) Sheathing Paper: 15 pound asphalt impregnated building paper.
   B. Construction:
      (1) General: Erect all framing and other wood construction in a strong, substantial and workmanlike manner. Exercise care and foresight in laying out to prevent conflicts with other trades.
      (2) Studding: Wood stud walls to be laid out true to line, square and plumb, studs 16 inches o.c. unless otherwise indicated. Studs and blocking shall be placed to provide adequate nailing for surface materials. Double at all openings, triple at corners and intersections. Provide wall partitions with double top plates, single floor plate, horizontal nailers, bracing and blocking, doubled heads all securely nailed. Arrange plates to form continuous horizontal ties, splice single plates, stagger ends of double plates. Splice plates abutting at corners.
      (3) Grounds, Stripping, Furring and Blocking: Shall be furnished and installed to provide proper backing to receive all mouldings, frames, gypsum wallboard, plywood and other materials, including tissue holders, mirrors, door stops, etc.

9. FINISH CARPENTRY AND MILLWORK
   A. General: Take necessary measurements at building to assure proper fit of all work. Execute in strict conformity with details. Leave all exposed surfaces ready for painter's finish.
   B. Shop Drawings: Millwork to furnish shop drawings in triplicate for approval of Architect before manufacture.
   C. Millwork Storage and Protection: All millwork to be protected and kept under cover in transit and at the job site, and shall not be delivered before it is required for the proper conduct of work.
   D. Workmanship and Assembly: Work shall be assembled at the mill insofar as it is practical, and delivered ready for erection. When it is necessary to cut and fit on the job, the material shall be made with ample allowance for cutting. Moldings shall be true to detail, cleanly cut and sharp. All exposed molds and surfaces shall be machine sanded to an even, smooth surface, ready for finish. Scribing, mitering and joining shall be done accurately and neatly. Intersecting molds at in-corners shall be neatly coped and not mitered where possible. Use finish nails unless otherwise noted. Set nails for puttying. Adjust doors, etc. to operate perfectly at the time building is accepted.

10. WOOD MATERIALS FOR FINISH CARPENTRY AND MILLWORK
   A. Exterior Siding and Fascias: Western Red Cedar "C & Better", 1 x 6 T & G, Square edge with resawn face.
      (1) Apply siding vertically, full length boards, apply fascia boards horizontally, 10' lengths minimum, stagger and miter joints, miter outside joints.
      (2) Fasten siding and fascia by blind nailing with hot dipped galvanized casing nails @ 2' - 0" o.c. maximum, set nails.
   B. Exterior Trim (including stops @ aluminum windows) and Batts: Western Red Cedar, "C & Better" square edge with resawn face and edges.
   C. Resawn Plywood: Rough sawn Exterior Grade DFPA, N-C 3/8 inch thick; apply with face grain lengthwise, nail with 6d galvanized siding nails @ 6 inches o.c. @ edges and intermediate supports.
   D. Exterior and Interior Door Frames and Trim and all lumber unless specified otherwise: "B & Better" finish, K.D. Douglas Fir, par 101-b.
   E. Interior Fir Plywood: Two sides exposed - Interior A-A, D.F.P.A. One side exposed - Interior A-D, D.F.P.A.
   F. Hardboard: Georgia-Pacific "Standard Hardboard," surfaced both sides, 48" x 96" x 1/4" thick with beveled edge or approved.
   G. Interior Custom Cabinet Work:
      (1) General: Methods, details and features of construction, joinery, machining and assembly shall be optional with the manufacturer, but where applicable, must equal the minimum requirements of Conventional Casework, Section 17, for grade specified also equal the typical details as shown on pages 49, 50 and 51 of the W.I.C. Manual. W. I. C. Reinspection procedure shall be used.
      (2) Materials: Exposed portions of cases and cabinets shall be finish solid birch stock or rotary unselect birch veneer on particle board core as applicable. Interior of cabinets behind doors shall have rotary unselect Douglas Fir Plywood.
      (3) Cabinet Doors: 3/4 inch thick doors - Modified W.I.C. Type 5, flush rotary unselect birch veneer through ply construction with "Timblend" core. Tee banded edges with 5/8 inch birch bands compatible with face veneer.
      (4) Shelves:
         a. General - Casework shelves shall be 3/4 inch thick built-up solid stock birch or 3/4 inch thick rotary unselect birch plywood with birch edge band unless otherwise noted. Shelves longer than 3 feet 0 inches shall be not less than 1 inch net in thickness.
         b. Fixed Shelves - Shall be rabbeted into sides and dividers.
         c. Adjustable Shelves: Shall be supported on let-in standards No. 225 and supports No. 256, K & V or approved.
         d. Shelves Behind Doors - May be rotary cut Douglas Fir Plywood, Tee edge banded on face edge.
      (5) Counters, Backsplashes and Sidesplashes: 3/4 inch thick plywood INT B-D, D.F.P.A., counters at sinks EXT B-D, D.F.P.A.
      (6) Bases: Provide for 4-1/4 inch high x 3 inch deep toe space, consisting of back rail with cross rails (sleepers) at ends, dividers @ 30 inches o.c. maximum.
      (7) Dividers: Where grooved two sides for shelf standards: 1" net thickness. Dividers specifically noted hardboard shall be 1/4 inch thick G-P "Standard Hardboard" or approved.
      (8) Backs: 1/4 inch thick, unselect rotary fir plywood INT A-D, D.F.P.A. for all concealed locations, unless otherwise noted.
      (9) Scribing: Provide at walls, ends, fronts and backs. Provide scribe mold at ceilings and walls as required.
      (10) Finish: All exposed surfaces including edges and moulded contours shall be finish sanded to a smooth even surface at the mill ready for painter's finish.
      (11) Wood Door and Frame Installation: All doors will be closely fitted with narrow margins
         Top and Side Edges: 1/16 inch
         Bottom Edge: 3/8 inch
         Jambs shall be set plumb and true.

DIVISION 7 - MOISTURE PROTECTION

Section 7A - Caulking

1. General Conditions: The General Conditions and Special Conditions shall govern this section of the work.

2. WORK INCLUDED: Joints around all exterior doors and windows; elsewhere where indicated or required.

3. MATERIAL: Use A.C. Horn Company's "Vulcatex", Minwax No. 1 Caulking Compound or approved. Include primers and all necessary oakum as recommended by Caulking Compound Manufacturer. Use type of caulking recommended for gun or blade application by manufacturer.

4. APPLICATION: As recommended by Caulking Compound Manufacturer.

5. JOINT FINISH AND CLEANING: Neatly point joints on flush surfaces with beading tool; remove excess material. Caulked joints shall be free of wrinkles, smooth, watertight; joints which are more than 3/4 inches deep from outside face shall be caulked solid with untarred oakum to within 3/4 inches of outside face before applying caulking compound. Immediately clean adjacent areas of smears of compound due to the caulking operation. Leave in clean, neat condition.

6. GUARANTEE: Guarantee that caulked joints will remain watertight, will not run, crumble or otherwise become defective for a period of two years from date of final acceptance. Repair work which becomes defective during this period along with other work damaged thereby without extra cost to the Owner.

DIVISION 8 - DOORS, WINDOWS & GLASS

Section 8A - Exterior and Interior Wood Doors

1. GENERAL: The General Conditions and Special Conditions shall govern this section of the work.

2. WORK BY OTHERS:
   A. Finish Hardware Installation - Division 6
   B. Door Installation - Division 6

3. FLUSH SOLID CORE WOOD DOORS: Good Grade No. 1 Unselected Birch Veneer with hardwood side edges. Weldwood's "Staved Lumber Core Doors". Roddis "Standard Staved Core Door" or approved.

Section 8B - Finish Hardware

1. GENERAL: The General Conditions and Special Conditions shall govern this section of the work.

2. HARDWARE ALLOWANCE: The General Contractor shall allow the sum of $375.00 in his base bid to cover the cost of the finish hardware materials. The above sum is for finish hardware materials only and does not include installation costs which shall be included in the Base Bid by the General Contractor.

REGISTERED ARCHITECT · JACK A. EDSON · MEDFORD, OREGON · STATE OF OREGON

SPECIFICATIONS

EVERGREEN SCHOOL · REMODEL · ORIGINAL BUILDING
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

Section 8B - Finish Hardware (Continued)

3. SELECTION: The Architect and/or Owner shall select the finishing hardware and will subsequently take bids when desired, then authorize and direct the General Contractor to place his order for such hardware as selected.

4. ADJUSTMENT OF COST: Should the cost of his hardware as selected be more than the allowance sum, the Owner shall pay the General Contractor such difference, but should the cost be less than the allowance sum, the General Contractor shall credit the Owner with this difference.

5. FINISH HARDWARE INSTALLATION (General Contractor): The General Contractor shall care for and install all hardware provided under this section. Adjust movable parts to operate perfectly at time of final acceptance.

Section 8C - Metal Windows

1. GENERAL: The General Conditions and Special Conditions shall govern this section of the work.

2. WORK INCLUDED: All aluminum windows and other related items as shown on the drawings.

3. WORK BY OTHERS:

   A. Glass and Glazing, division 8

   B. Caulking, Division 7

4. MATERIALS:

   A. Frame - Members shall be aluminum alloy extruded in shapes specifically designed for window construction. The alloy used shall be 6063 T5 and of suitable temper for use in aluminum windows. Extrusions shall be free from defects impairing strength and durability. Frame and muntin sections shall be not less than 1-1/2 inches deep. Frame shall be unequal leg channel that will provide anchorage at head and jambs. All frames to be complete and standard square edge roll formed aluminum glazing beads. Corners of frames and ventilators shall be caped and mechanically fastened with exposed surfaces finished flush. All frames, ventilators, and mullions shall receive Dura-Bronze coating average thickness 0.4 to 0.6 mills. All screws, bolts and other parts shall be of aluminum or of material not harmful to aluminum under normal conditions of service.

   B. Manufacturer: Mercer Steel Company 1.50, Soule Steel Company or approved.

5. SHOP DRAWINGS: Provide shop drawings in triplicate for approval prior to fabrication.

6. ERECTION: All windows shall be set plumb, square, level and true with their respective openings. Like units of each window or battery of windows shall finish in the same plane and with rails and like members aligned.

7. FINAL ADJUSTMENT: After the work of glazing (by others) has been completed, the entire window installation shall be inspected for the work under this section.

8. PROTECTION: The General Contractor shall be responsible for protecting the aluminum windows during the construction process and for cleaning them at completion of building. Any windows arriving at the job site in a damaged or abraided condition will be rejected.

Section 8D - Glass and Glazing

1. GENERAL: The General Conditions and Special Conditions shall govern this section of the work.

2. WORK INCLUDED: All glass and installation.

3. MATERIALS:

   A. Glass - All glass shall be manufactured by the Pittsburg Plate Glass Company, Libby-Owens-Ford or approved. Glass shall bear identifying labels until approved by the Architect. Glass shall be 3/16" sheet, 1/4" polished plate, 7/32" diffusing ("stippled" pattern as manufactured by Libby-Owens-Ford) as designated on the drawings.

   B. Putty - Armstrong Company's "Armglaze - Type G Knife Grade" in special color to match the aluminum work.

   C. Glazier's Points - Standard zinc triangles or approved equal.

4. WORKMANSHIP: Glazing shall be done in a workmanlike manner and in accordance with the glazing procedures as outlined in the Glazing Manual of the Flat Glass Jobbers Association.

5. CLEAN UP: Clean all glass before final acceptance of the work, replace all scratched or damaged glass.

DIVISION 9 - FINISHES

Section 9A - Gypsum Wallboard

1. GENERAL: The General Conditions and Special Conditions shall govern this section of the work.

2. MATERIALS:

   A. Gypsum Wallboard: Tapered Edge Gypsum Wallboard, 5/8" thick Gold Bond "Fire Shield, "U.S. Gypsum's "Sheetrock Firecode 60" or Bestwall "Firestop."

   B. Tape: U. S. Gypsum's "Perf-A-Tape" or approved equal.

   C. Cement: U. S. Gypsum's "Perf-A-Tape" cement or approved equal.

   D. Fasteners: Shall be U.S.G. Drywall screws as recommended by the manufacturer, or U.S.G. 1-3/8" annular ring nails.

3. WORKMANSHIP: Gypsum Wallboard and backing board shall be installed by workmen familiar with the proper installation of the product.

4. INSTALLATION: Supports not to exceed 16 inches o.c. Erect in accordance to manufacturer's recommendations, fastening all gypsum wallboard and backing board to supports with fasteners not over 7 inches o.c. on side walls. Exposed gypsum wallboard shall be tapered edge with fasteners spaced no more than 3/8 inch from edges. All heads set, taking care not to break surface of paper and left ready for taping.

5. TAPING: Follow the taping directions recommended by the wallboard manufacturer.

6. METAL ACCESSORIES: Provide USG 200-B metal trim at intersection of wallboard with other materials or at termination of wallboard. Provide USG 102 "Dur-A-Bead" corner beads unless otherwise noted.

Section 9B - Resilient Floor Coverings

1. GENERAL: The General Conditions and Special Conditions preceding this section shall govern this division of the work.

2. WORK BY OTHERS: Final Floor Cleaning, Division 1.

3. MATERIALS:

   A. Asphalt Tile: Kentile, Flintkote or approved, size 9 x 9 x 1/8 inch thick, match existing floor colors.

   B. Rubber Base: approved "Rubber Cove Base", set-on type in standard thickness 4 inch height. Color: Black.

Section 9C - Plastic Laminate Work

1. GENERAL: The General Conditions and Special Conditions shall govern this section of the work.

2. MATERIALS: 1/16" General Purpose Grade "Formica", "Micarta", "Textolite" or approved.

3. INSTALLATION: Install covering material in strict accordance with manufacturer's specifications using waterproof cement. Use full size sheets. Joints shall be at approved locations only and shall be hairline butted. Top of backsplashes and side splashes shall be "self-faced". Countertop edges, unless otherwise indicated on the drawings, shall be "self-faced."

4. CLEANING: Leave all surfaces thoroughly clean of all marks.

Section 9D - Painting

1. GENERAL: The General Conditions and Special Conditions shall govern this section of the work.

2. WORK INCLUDED: All painting and other related items including, but not limited to, the following principal items:

   A. General Painting Building "F".

   B. Preparation of galvanized surfaces to be painted and repainted.

   C. Miscellaneous Painting.

3. WORK BY OTHERS:

   Factory furnished items, shop and/or prime coat on certain items are specified in other divisions. Consult all divisions in detail.
   Cleaning of Glass, Division 1.

4. GENERAL REQUIREMENTS:

   A. Finished Spaces: Wherever in the specifications the words "Finished Spaces" are used, it shall be construed to mean those spaces listed by name or number in the Finish Schedule or shown on the drawings unless specifically noted unfinished.

   B. Colors, Sheen and Texture: Color, sheen and texture for all coats will be selected by the Architect from samples prepared by the Painting Contractor. Do no work until samples have been approved.

   C. Delivery of Materials: In unbroken packages, manufacturer's original labels thereon.

   D. Preparation of Zinc Coated or Galvanized Steel: Prior to applying prime coat, all zinc coated or galvanized metal shall be degreased and prepared for painting with Neilson Chemical Company's "Galvaprep" in strict accordance with manufacturer's directions.

5. APPLICATION:

   A. General: Surfaces to be painted shall be clean and dry and free from all foreign matter, grease, oil and rust. Do not apply finishes to surfaces unless dry enough to receive the finish. Do no work when an injurious amount of dust or insects is present. Do no exterior painting during rainy or freezing weather or while surfaces are damp. Avoid painting surfaces while they are exposed to hot sun. See that proper temperature and ventilation are maintained for inside work. If surfaces are not in proper condition for painting work, the Contractor shall notify the Architect before proceeding with any work, otherwise, he will be held responsible for any poor work caused by improper surfaces. Application of first coat of paint specified herein constitutes acceptance of the surface by the Painter.

   B. Workmanship: Highest quality, performed by skilled mechanic to Architect's satisfaction. Fill all cracks, holes and other imperfections with approved material such as apackle, crack filler or putty. Use oil free putty, colored to match finish on all stained, varnished or natural finished wood work. Fill nail holes and minor imperfections after priming. Use approved oil base putty, colored to match final coat, for painted work. Seal sap and knots in painted work before priming with an approved knot sealer such as W.P. Fuller Paint Company's Knot Sealer Number 9689. Sandpaper interior work before coats as required to produce smooth, even surface for finish coat. Spread material evenly, without runs or sags. Vary color of successive coats slightly to prevent skipping. Cut sharp lines against glass and other materials. Each coat must harden before succeeding coat is applied. Rub paste wood filler, when used, across the grain as filler sets, then sandpaper to smooth surface.

   C. Texture:

      (1) Brush: All painting shall be done with a brush unless otherwise specified or approved.

      (2) Roller: All painting on gypsum board surfaces, may at Contractor's option be applied with a roller.

   D. Defective Painting Work: Repair painting work damaged during construction. At completion of work entire job in first-class condition.

6. MATERIAL:

   A. Painting: Pittsburgh Paint Company's, Pratt and Lambert, Inc!, Martin Senour's, Rodda Paint Company's, Bishop Conklin's, Olympic Stained Products Company's, Sherwin-Williams Company's or Iverson's or approved.

   B. Miscellaneous: Linseed oil shall be pure raw or boiled linseed oil. Turpentine shall be pure gum spirits of turpentine. Mineral thinner, drier, colors in oils and colors for non-oil base paints, crack fillers and spackle shall be of approved standard brands.

   C. Putty: Putty for painted work - Rodda Paint Company's No. 871, White lead paint. Putty for stained and/or varnished or natural finished work - approved oil free putty or plastic wood to colors required.

7. PRIMING AND BACKPRIMING

   A. Exposed Exterior Woodwork to be Painted: Prime one coat of Pittsburgh Paint Company!s No. 1-201, Sun-Proof Exterior Control Primer on all surfaces before installation, unless otherwise specified.

   B. Interior Wood Finish to be Stained and/or Varnished: Backprime one coat of Pittsburgh Waterspar Natural Wood Seal No. 830320. Use great care so as not to get priming paint or finger marks on face of finish and plywood to be stained and varnished.

   C. Interior Wood Finish and Plywood to be Painted: Prime one coat of Pittsburgh Paint Company's 54-255 Waterspar Undercoater on all surfaces before installation unless otherwise specified.

8. Exterior Painting

   A. Exterior Woodwork to be Painted (Doors and new and old trim @ Elevations "A", "C" and "D".

      (1) Prime Coat: Rodda's #155 Exterior Control Primer
      (2) Body Coat: Rodda's #130 Exterior Trim Paint
      (3) Finish Coat: Rodda's 100% Pure Paint

   B. Exterior Woodwork to be stained: Includes, but not limited to Exterior Elevations "A", "C" and "D" (New soffits & siding and fascias):

      One coat of Olympic Linseed Oil Base Stain, 4 sides, prior to applying to building. One coat after application.

   C. Exterior Metalwork - Old Work (Spot Prime and Finish)

      (1) Prime Coat: Shop coat specified in other divisions or Pittsburgh Paint Company's No. 8-2 Ironhide Inhibitive Red Primer for non-galvanized work and Pittsburgh Paint Company's No. 8-10 zinc dust galvanized iron primer for galvanized work. Remove rust spots and touch up abrasions to shop coat before applying body coat.

      (2) Body Coat: Pittsburgh Paint Company's Ironhide Metal Protective Paint reduced as recommended by the manufacturer.

      (3) Finish Coat: Pittsburgh Paint Company's Ironhide Metal Protective Paint as it comes from the manufacturer.

9. Interior Painting

   A. New Gypsum Wallboard and hardboard indicated semi-gloss enamel (S.G.E.) in the Finish Schedule: Two Coats:

      (1) Prime Coat: Rodda's #7700 "Roseal" PVA Sealer with ground walnut shells.

      (2) Finish Coat: Rodda 7841 Eggshell.

   B. Woodwork, Wood Trim and Interior Wood Doors indicated semi-gloss enamel (S.G.E.) in the Finish Schedule: New Work - Three Coats; Old Work - Two Finish Coats:

      (1) Prime Coat: Pittsburgh Paint Company's No. 54-255 Waterspar Undercoat.

      (2) Body Coat: A mixture of 50 percent Pittsburgh Paint Company's Enamel Undercoater No. 54-255 and 50 percent Pittsburgh Paint Company's Wallhide Semi-Gloss Enamel, reduced as recommended by the manufacturer.

      (3) Finish Coat: Pittsburgh Paint Company's Wallhide Semi-Gloss, as it comes from the manufacturer.

   C. Existing hardboard indicated Flat Wall Paint (FWP) in the Finish Schedule - Two coats:

      (1) Body Coat: Rodda's Latex, reduced as recommended by the manufacturer.

      (2) Finish Coat: Rodda's Latex, as it comes from the manufacturer.

   D. Custom Cabinets and all exposed portions of casework shall be three coats:

      (1) Stain: Rodda's Modern Wood Stains, color as selected.

      (2) Prime Coat: Rodda's #66 high solids lacquer sanding sealer.

      (3) Body Coat: Rodda's high solids clear lacquer.

      (4) Finish Coat: Rodda's high solids clear lacquer.

DIVISION 10 - SPECIALTIES

Section 10A - Tackboard @ Display Case

1. GENERAL: The General Conditions and Special Conditions shall govern this division of the work.

2. MATERIAL: 1/4" vinyl surfaced, burlap backed "Color-Cork" Gotham, Weber Costello or approved.

3. INSTALLATION: Installation shall be by the manufacturer's recommended procedure.

DIVISION 11 - (None in this specification)

DIVISION 12 - (None in this specification)

DIVISION 13 - (None in this specification)

DIVISION 14 - (None in this specification)

DIVISION 15 - MECHANICAL - (See Mechanical Drawing M-1)

DIVISION 16 - ELECTRICAL

1. General - The General Conditions and Special Conditions shall govern this division of the work.

2. Perform the electrical work shown or indicated on the drawings, including all materials, labor and incidentals to complete the work in a safe, finished, neat and workmanlike manner.

3. Conceal all wiring except as noted on the drawings. Use electrical metallic tubing except under floors, in the earth, or concrete use galvanized rigid conduit. Minimum wire size is #12 AWG copper with code grade insulation, except where noted on the drawings. In those cases where exposed conduit is permitted, the installation shall be parallel to or at right angles with the structural members of the building, and securely fastened. Where exposed to public view, the conduits shall be painted the same color as the surrounding material.

4. All electrical equipment shall be new and U.L. approved. The Contractor shall guarantee the materials and workmanship for a period of one year after acceptance for normal usage, and shall replace or correct any defects promptly without cost to the owner.

5. The Electrical Contractor shall inspect the site to determine the existing working conditions; comply with all electrical code requirements, latest revisions of each; obtain all permits and inspections and include the cost in the contract sum.

6. All fixtures shall be cleaned and complete with lamps. Connect electrically all equipment shown. The Electrical Contractor shall furnish and install the magnetic starters and disconnects to the mechanical equipment and make the power and control wiring connections as indicated. Fans and motors shall be furnished and mounted by the mechanical contractor.

7. The work shall not include furnishing meters, current transformers, fans, motors, kitchen equipment, heating and ventilating equipment, portable plug-in equipment and similar type items unless indicated on the drawings.

8. Incandescent lamps shall be G.E., Sylvania, or Westinghouse, 125 volts of the wattage indicated. Fluorescent lamps shall be cool white, G.E., Sylvania, or Westinghouse. Ballasts shall be high power factor, CBM or ETL either fused dry type or G.E. Bonus line. Sound rating shall be "B" or better and the fixture shall be considered defective if the noise is excessive.

9. The Electrical Contractor shall return a marked up set of clean, neat, legible drawings to indicate any changes or deviations necessary for the work as indicated. The Contractor shall furnish at the completion, a hard bound folder of catalog data of all equipment used on the job for future use by the school district for maintenance or replacement of equipment.

10. All cabinets, safety switches, magnetic starters, time switches, and other apparatus used for the operation and control of circuits, appliances, and equipment installed under this contract shall be properly identified by means of neatly stenciled or printed labels or embossed nameplates.

11. The electrical feeders, panels, branch circuits shall be of the voltage as indicated on the drawings.

12. Switches and receptacles shall be as indicated on the drawings. Cover plates shall be stainless steel in finished areas, in unfinished areas they may be galvanized.

13. No beams shall be cut without specific approval of the Architect. This Contractor shall call to the attention of the Architect any errors or discrepancy coming to his attention, and shall not proceed with the work with any questionable items until clarification has been made.

14. Work to include the following:

   A. Replace incandescent lighting fixtures with fluorescent fixtures as indicated on the drawings.

   B. Install Minneapolis -Honeywell clocks, buzzers, and bells as indicated, and connect to master clock and inter-connect panel in the administration building.

   C. Provide boxes with blank covers and conduit stubs to the attic for intercommunications outlets.

   D. Reconnect, relocate, remove, reinstall and rewire existing fixtures and devices as required for the new construction.

   E. Connect feeders and branch circuits as required and as indicated on the drawings.

REGISTERED ARCHITECT
JACK A. EDSON
MEDFORD, OREGON
STATE OF OREGON

SPECIFICATIONS

EVERGREEN SCHOOL - REMODEL - ORIGINAL BUILDING
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

SYMBOLS

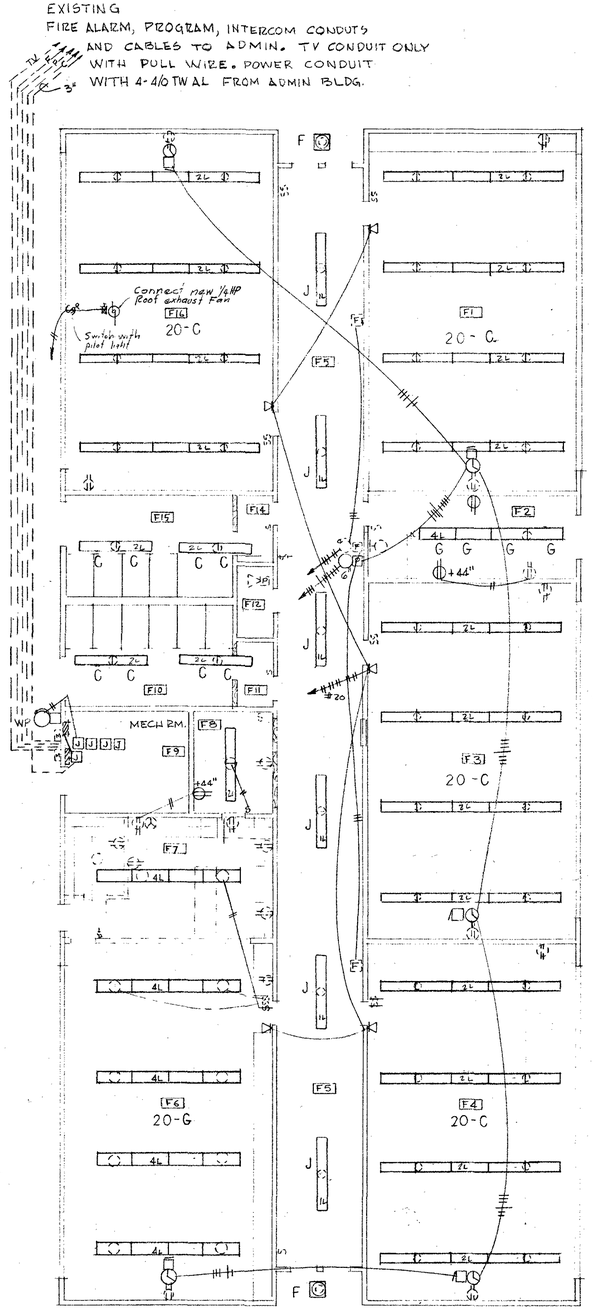
- EXISTING DUPLEX CONVENIENCE RECEPTACLE. CHANGE TO 3WIRE GROUNDING TYPE
- EXISTING WALL SWITCH
- WALL SWITCH. QUIET TYPE, SPEC. GRADE 20AMP. 120VOLT. IVORY COLOR. SMOOTH PLASTIC COVER
- SPEAKER OUTLET BOXES. BLANK COVERS ONLY
- PROGRAM CLOCK WITH BUZZER. SAME AS FURNISHED IN NEW BUILDING
- PROGRAM BELL, 6" SIZE, TO MATCH PROGRAM SYSTEM.
- EXISTING FIRE ALARM. CONNECT TO NEW SYSTEM
- FIRE ALARM CALL STATION, EXISTING. CONNECT TO NEW SYSTEM. CHANGE OUT AS REQUIRED TO OBTAIN ANNUNCIATION IN ADMIN. BLDG.
- DUPLEX CONVENIENCE RECEPTACLE, 15A 120V, SPEC. GRADE, IVORY COLOR, SMOOTH PLASTIC COVER.
- JUNCTION BOXES
- WP PROGRAM BELL, WEATHERPROOF, 10"
- EXISTING RANGE OUTLET. CONNECT AS REQUIRED FOR ART ROOM KILN.
- EXISTING LIGHTING FIXTURE
- RECESSED LIGHTING FIXTURE. INSTALL AT SAME LOCATION AS AN EXISTING FIXTURE.
- EXISTING BRACKET LIGHT
- 2L FLUORESCENT FIXTURE 2 LAMP FOUR FOOT
- 4L FLUORESCENT FIXTURE 4 LAMP FOUR FOOT
- EXISTING WIRING
- WALL OR CEILING WIRING
- UNDERFLOOR OR UNDERGROUND WIRING

FIXTURE SCHEDULE

TYPE	DESCRIPTION
C	FLUORESCENT LIGHTING FIXTURE FOUR FOOT TWO LAMP, MATCH THE EXISTING FIXTURES IN THE NEW BUILDING. ACRYLIC LENS, MINIMUM WIDTH 14"
G	FLUORESCENT LIGHTING FIXTURE FOUR FOOT FOUR LAMP MATCH THE EXISTING FIXTURES IN THE NEW BUILDING ACRYLIC LENS, MINIMUM WIDTH 14"
F	RECESSED INCANDESCENT, FLAT FRESNEL LENS, MATTE WHITE TRIM, 4½" DEEP, 150 W LAMP, PRESCOLITE 1015-6714, MARCO ECJ-150 M26P
J	FLUORESCENT LIGHTING FIXTURE, CORRIDOR UNIT, ONE LAMP, EIGHT FOOT, ACRYLIC WESTINGHOUSE 2C-140A, WAKEFIELD PHR118-TAA.

NOTES:

1. CRAWL HOLE TO ATTIC IN MECH ROOM
2. REMOVE EXISTING CLOCKS. RETURN TO SCHOOL DISTRICT
3. CONNECT NEW CLOCKS AND BUZZERS TO NEW SYSTEM WITH MASTER IN ADMIN.
4. CHANGE FIRE ALARM BREAK GLASS STATIONS TO SAME AS NEW SYSTEM. CHANGE OUT ALARM DEVICE TO SAME AS NEW SYSTEM.
5. ADD EXTERIOR AND CORRIDOR PROGRAM ALARM DEVICE. EXTERIOR TO MOUNT AT EAVES INTERIOR SAME HEIGHT AS EXISTING.
6. LEAVE RANGE RECEPTACLE FOR ART ROOM KILNS.
7. DISCONNECT, REROUTE, REWIRE, REMOVE, REINSTALL ELECTRICAL WIRING, DEVICES AND FIXTURES AS REQUIRED FOR THE NEW CONSTRUCTION.
8. REMOVE HOT WATER BOOSTER AND CONTROLS FROM MECH RM.
9. REMOVE METERS, SERVICE ENTRANCE CONDUITS, WIRING, EXTERIOR BOXES, ROOF JACKS, OF EXISTING MAIN WIRING REARRANGE AS REQUIRED FOR 120/208 3Ø FOUR WIRE FOR BEST BALANCE WITH EXISTING PANELS. CONNECT NEW SERVICE TO EXISTING PANELS.
10. INSTALL JUNCTION BOXES IN MECH. ROOM 10x10x4 FOR FIRE ALARM, PROGRAM, AND INTERCOM.
11. CONCENTRIC RING FIXTURES AND CORRIDOR FIXTURES, REST ROOM & OTHER REMOVED OR REPLACED FIXTURES & HARDWARE TO BE PROPERTY OF CONTRACTOR
12. PROGRAM, INTER COM, FIRE ALARM WIRING TO BE IN WALLS OR ATTIC SPACE.



EXISTING CLASSROOM BUILDING SCALE 1/8"=1FT-0"

REGISTERED PROFESSIONAL ENGINEER — OREGON — NOV. 9 1951 — L. S. HORTON

REGISTERED ARCHITECT — JACK A. EDSON — MEDFORD, OREGON — STATE OF OREGON

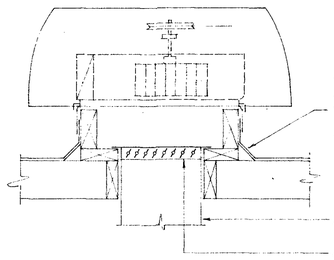
ELECTRICAL PLAN · FIXTURE SCHEDULE

EVERGREEN SCHOOL
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT OREGON

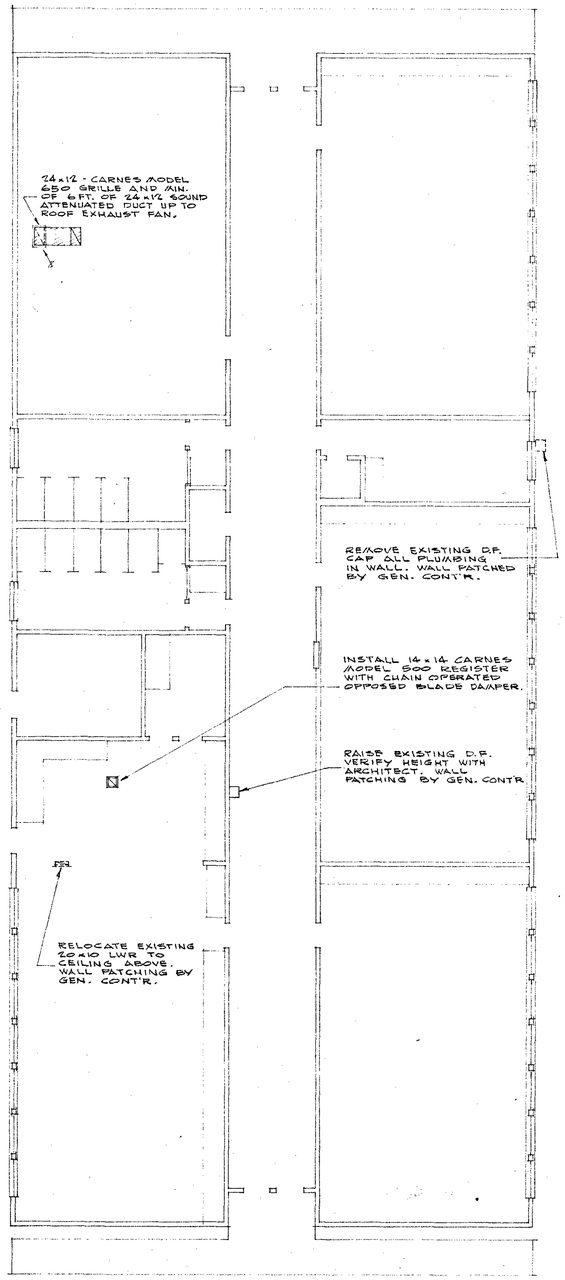
LSH | 6512

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

E1 OF 1



ROOF EXHAUST FAN
INSTALLATION DETAIL
NOT TO SCALE



FLOOR PLAN
SCALE: 1/8" = 1'-0"

SPECIFICATIONS:

GENERAL PROVISIONS:
Instruction to bidders, General Conditions and Supplementary General Conditions are a part of these specifications.

SCOPE OF WORK:
Provide complete Mechanical system as shown.

ROUGHING-IN:
Includes roughing-in and final connection for equipment furnished under other sections or contracts, in accordance with roughing-in drawings.

DRAWINGS:
Examine all Architectural, Electrical and Structural drawings.

WORK COOPERATIVE:
Coordinate work for rapid completion of the entire project.

REGULATIONS AND PERMITS:
Conform with applicable codes and regulations. Obtain and pay for all permits, licenses and certificates of approval.

MATERIAL:
All materials, full weight, standard in everyway and in first-class condition, and new. Capacities, sizes and dimensions are minimum.

APPROVALS:
Trade names and catalog numbers as stated herein are intended to indicate grade or quality of equipment and materials desired. Request for approval of material and equipment submitted in triplicate to the Architect. See Supplementary General Conditions.

WORKMANSHIP:
Work by competent workmen in maner acceptable to Architect.

GUARANTEES:
Guarantee against defects in materials or workmanship for one-year from date of final acceptance of building. Replace free of expense to Owner.

FIELD MEASUREMENTS:
Verify measurements at building site and report discrepancies to Architect before beginning work.

SHOP DRAWINGS:
Submit shop drawings in accordance with General and Special Conditions, and secure approval prior to fabrication and/or installation of equipment.

CUTTING AND PATCHING:
Required cutting or patching of construction only under direction of Architect. Patch as directed.

ROOF EXHAUST FAN:
Description - Full housed belt-driven centrifugal type enclosed scrawl, Fiberglass housing of weatherproof ventilated type, removable for service to motor, bearings and belt. Adjustable sheave on motor for fan speed adjustment, Integral motor disconnect provision in motor housing. Complete with manual switch.
1/4 HP motor.
Capacity - 1000 CFM Pace CRE-13 Skycap.
Manufacturer - Pace CRE-Skycap, equal Western Blower.

REGISTERED PROFESSIONAL ENGINEER 5153 OREGON JULY 9, 1965 THEODORE W. ROMER

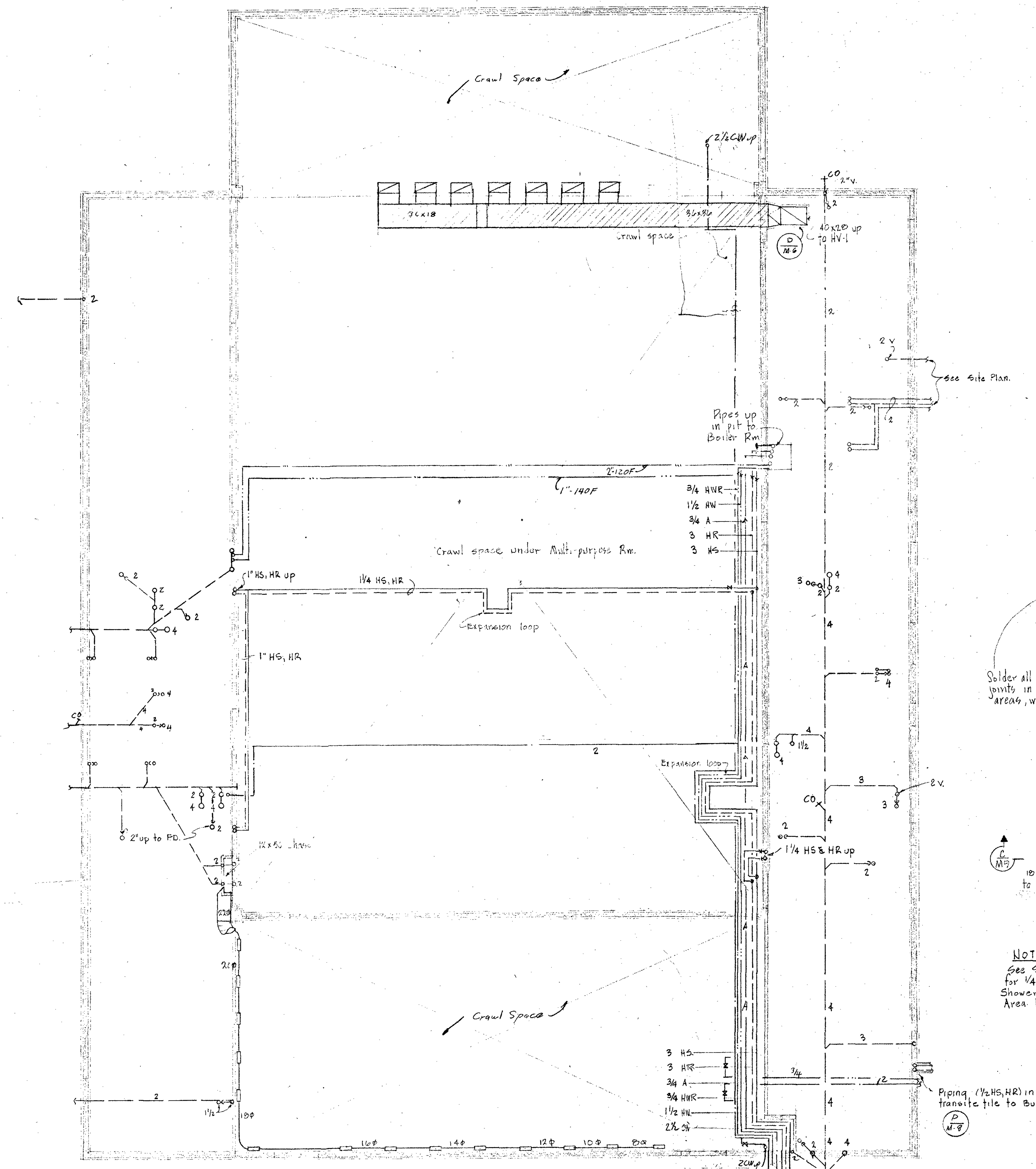
REGISTERED ARCHITECT JACK A. EDSON MEDFORD, OREGON STATE OF OREGON

MECHANICAL PLAN & SPECIFICATIONS

EVERGREEN SCHOOL REMODEL-ORIGINAL BUILDING
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

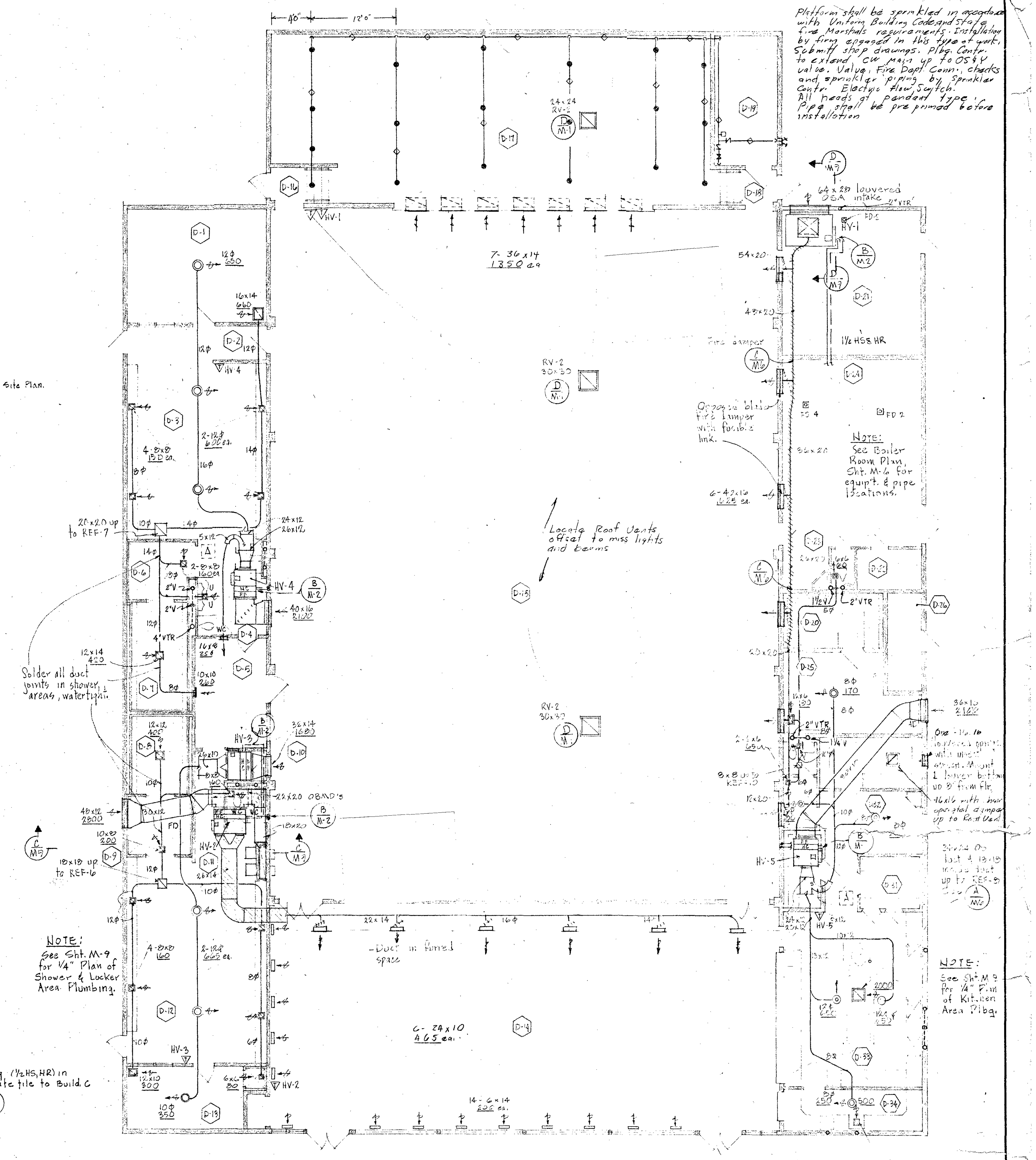
M1



Crawl Space
2½ CW-p
36x18
36x36
Crawl space
40x20 up to HV-1
See Site Plan.
Pipes up in pit to Boiler Rm.
2-120F
1"-140F
3/4 HWR
1½ HW
1½ A
3 HR
3 HS
Crawl space under Multi-purpose Rm.
1" HS, HR up
1¼ HS, HR
Expansion loop
1" HS, HR
Expansion loop
2" up to FD.
12x50 chase
1¼ HS & HR up
Crawl Space
3/4 HWR
1½ HW
2½ SW
Piping (1½ HS, HR) in transite tile to Build. C

BLDG. D FOUNDATION PLAN

1/8" = 1'-0"



Platform shall be sprinkled in accordance with Uniform Building Code and State fire Marshals requirements. Installation by firm engaged in this type of work. Submit shop drawings. Plbg. Contr. to extend CW main up to OS&Y valve. Valve, Fire Dept. Conn., checks and sprinkler piping by Sprinkler Contr. Electric Flow Switch.
All heads of pendant type.
Pipe shall be pre primed before installation
64x20 louvered OSA intake
7- 36x14
1350 ea
RV-2
30x30
1½ HS & HR
Fire Damper
Opposed blade fire damper with fusible link.
Note:
See Boiler Room Plan, Sht. M-6 for equip't. & pipe locations.
Locate Roof Vents so as to miss lights and beams
20x20 up to REF-7
Solder all duct joints in shower areas, watertight.
18x18 up to REF-6
22x20 OBMD's
Note:
See Sht. M-9 for ¼" Plan of Shower & Locker Area Plumbing.
Duct in furred space
6-24x10
465 ea.
14-6x14
Note:
See Sht. M-9 for ¼" Plan of Kitchen Area Plbg.

BLDG. D FLOOR PLAN

1/8" = 1'-0"

10x10 up to KEF-9
Connect to hood

REGISTERED PROFESSIONAL ENGINEER 5453 Theodore W Roner OREGON JULY 9, 1955 THEODORE W. RONER

MARQUESS & MARQUESS
CONSULTING ENGINEERS
GOLDY BUILDING - MEDFORD, OREGON

RECEIVED OCT 12 1966 JACK A. EDSON Architect

BLDG. "D" PLUMBING & HEATING	
EVERGREEN SCHOOL JOSEPHINE COUNTY UNIT SCHOOL DISTRICT OREGON	
DD RFM 6512	JACK A EDSON AIA ARCHITECTURE & PLANNING 128 EAST MAIN STREET MEDFORD, OREGON
M-7	

SOUTHERN OREGON STATIONERY

CLASSROOM PANEL

INSTALL 3P 150A MAIN AHEAD OF PANEL C1 & C2 200A 42CCTS 120/208

WATTS	USE	CB	CCT	CCT	CB	USE	WATTS
1000	RECEPTACLES A18	1P20	1	2	1P20	LIGHTS A23	1080
	A22		3	4		A23	1120
	A23		5	6		A30 34 35 38	1120
	A3		7	8		A22	1080
	A6		9	10		A22	1120
	A1		11	12		A24	1080
	A21		13	14		A24	1120
	A25		15	16		A31,33,36,37	760
	A24		17	18		A25	1080
	A20		19	20		A25	1120
	A4		21	22		A18, 20	1380
	A5		23	24		A19 21	1080
1400	EXTERIOR LIGHTS.		25	26		A3	1080
			27	28		A3	1120
16⅓HP	MECHANICAL PANEL 1	3P100	29	30		A6	1080
			31	32		A6	1120
500	SPARE	1P20	33	34		A10,12,14,15,1	1120
500	SPARE	1P20	35	36		A4	1080
500	SPARE	1P20	37	38		A4	1120
500	SPARE	1P20	39	40		A5	1080
760	LIGHTS A11,13,16,17	1P20	41	42		A5	1120

TOTAL CONNECTED LOAD 39820 WATTS +16½HP
AMPERES 155 AMPERES

FEED WITH 4-600MCM TW AL TO MAIN. PROVIDE DOUBLE LUGS AT CLASSROOM PANEL C2 AND EXTEND FEEDER TO PANEL C-1. OTHERWISE BOTH PANELS ARE IDENTICAL. FLUSH, BOTTOM OR TOP LUGS

MECHANICAL PANEL #1 IN C1, #2 IN C2. FEED WITH 4 #2 CU OR EQUAL.

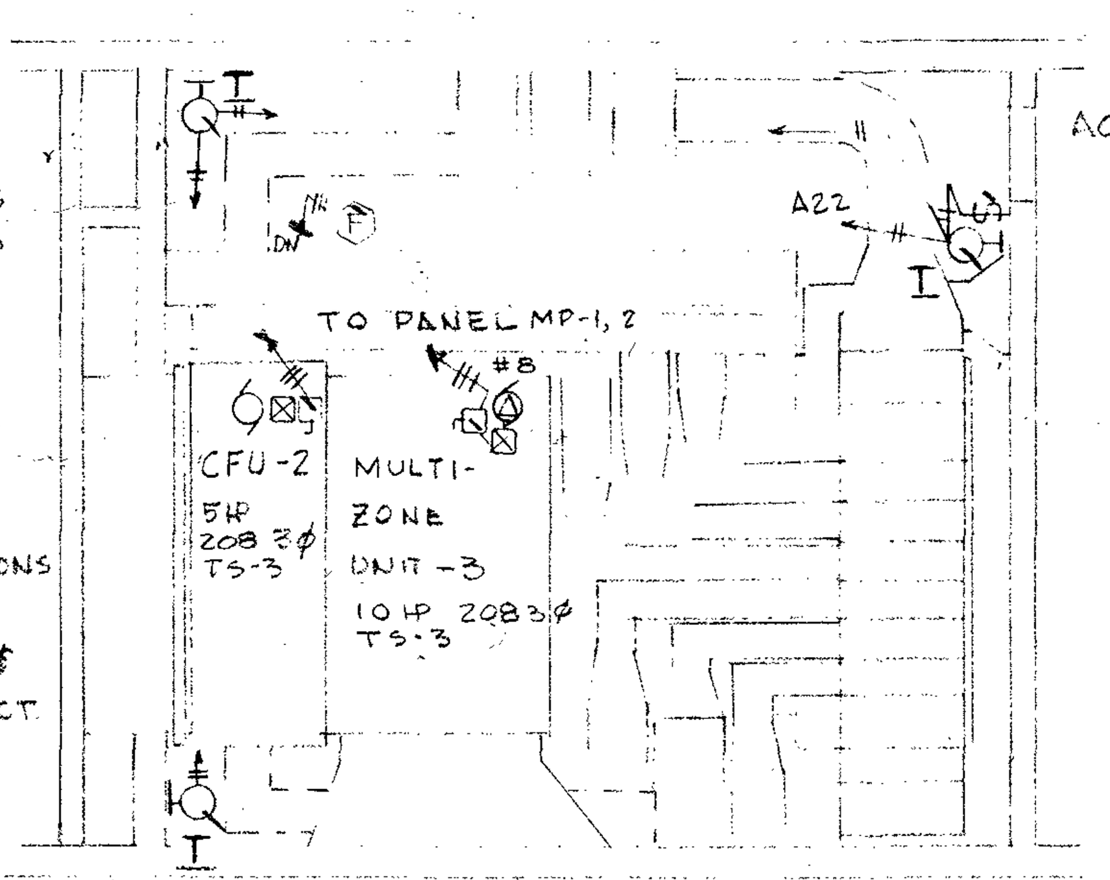
LOAD	USE	CB	CCT	CCT	CB	USE	LOAD
			1	2			
10HP	MZ-3✓	3P70	3	4	3P40	C✓	5HP
			5	6			
¼HP	REF 15✓	1P15	7	8	1P15	REF 4✓	⅙HP
¼HP	" 16✓		9	10		REF 5✓	⅙HP
¼HP	" 17✓		11	12		REF 18✓	¼HP
500	SPARE		13	14		SPARE	500
500	SPARE		15	16		SPARE	500
500	SPARE		17	18		SPARE	500

✓MOUNT AND WIRE IN SAME PANEL A MECHANICALLY HELD CONTACTOR, 6 POLES, TO SWITCH REF-S FROM TS-3. ✓PROVIDE 1¼"C FROM MECH ROOM BLDG B.

✓STUB 1"C TO MECH ROOM

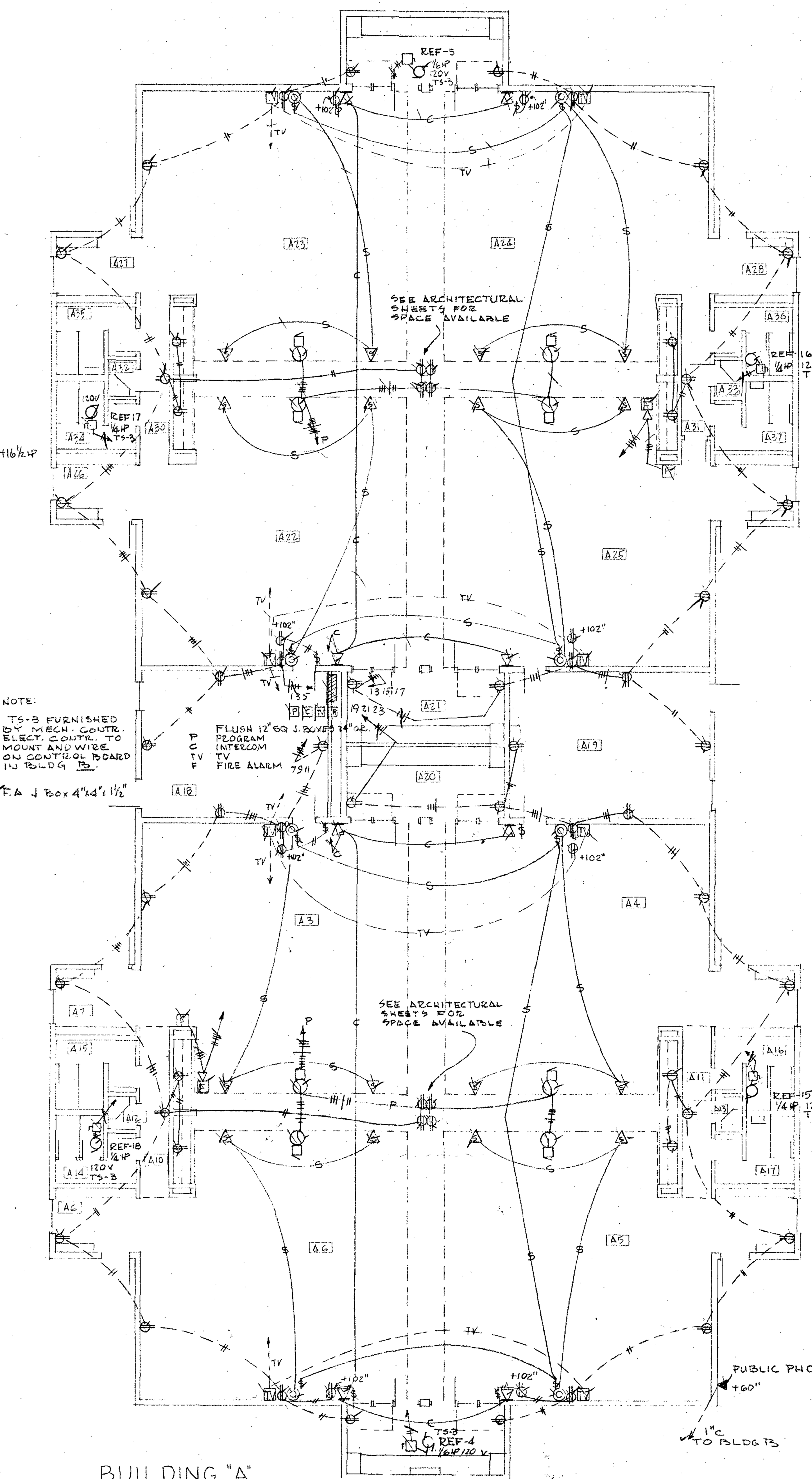
MAY BE SECOND SECTION TO PANEL C.

SEE MECH PLANS FOR EQUIP DETAIL, LOCATIONS.



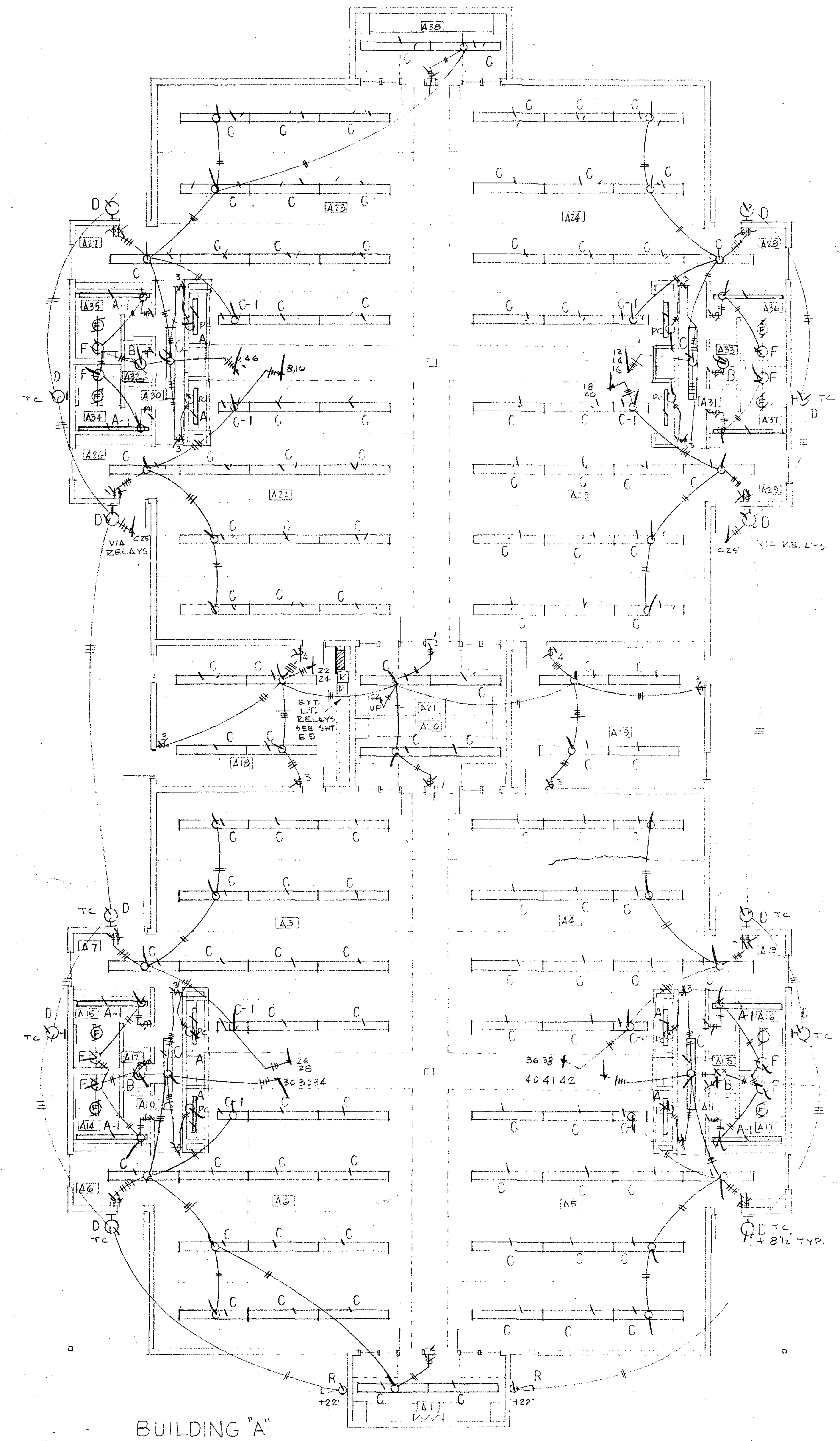
MECHANICAL ROOM PLAN SCALE ¼"=1'-0"

ABOVE ROOMS A21 & A20.



BUILDING "A"
CLASSROOM-POWER & SIGNALS
SCALE 1/8"=1'-0"

NOTE - TWO BLDG 'A'S ARE REQUIRED. REFERRED TO AS A1 & A2. A2 IS NORTH BLDG. A1 IS SOUTH BLDG



BUILDING "A"
CLASSROOM LIGHTING
SCALE 1/8"=1'-0"

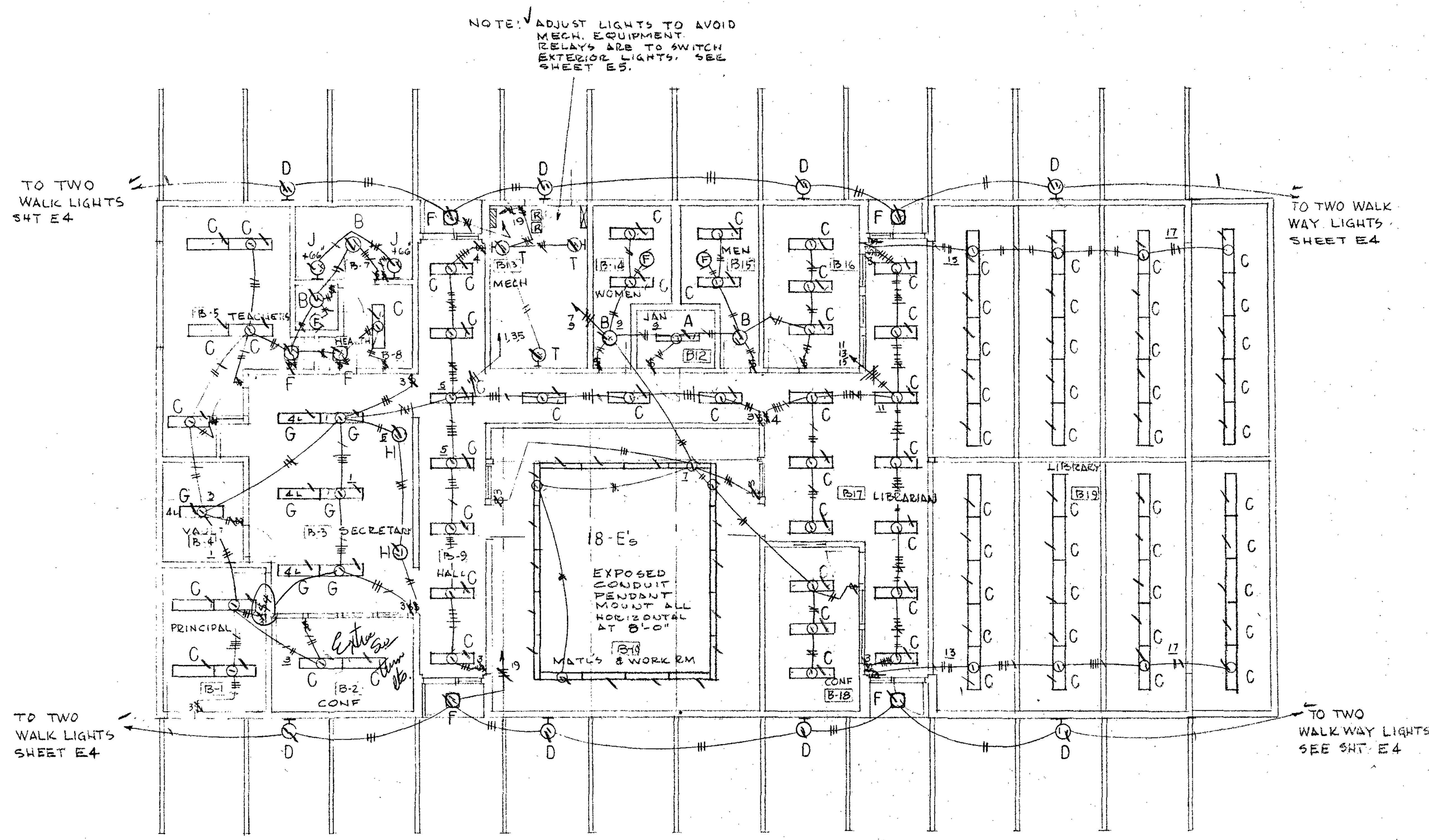
REGISTERED PROFESSIONAL ENGINEER L S Horton L. S. HORTON

BUILDING "A"-LIGHTS, POWER & SIGNALS	
EVERGREEN SCHOOL JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON	
LSH / 6512 / OCT 14, 66	JACK A EDSON AIA ARCHITECTURE & PLANNING 128 EAST MAIN STREET MEDFORD, OREGON
E1 OF 5	

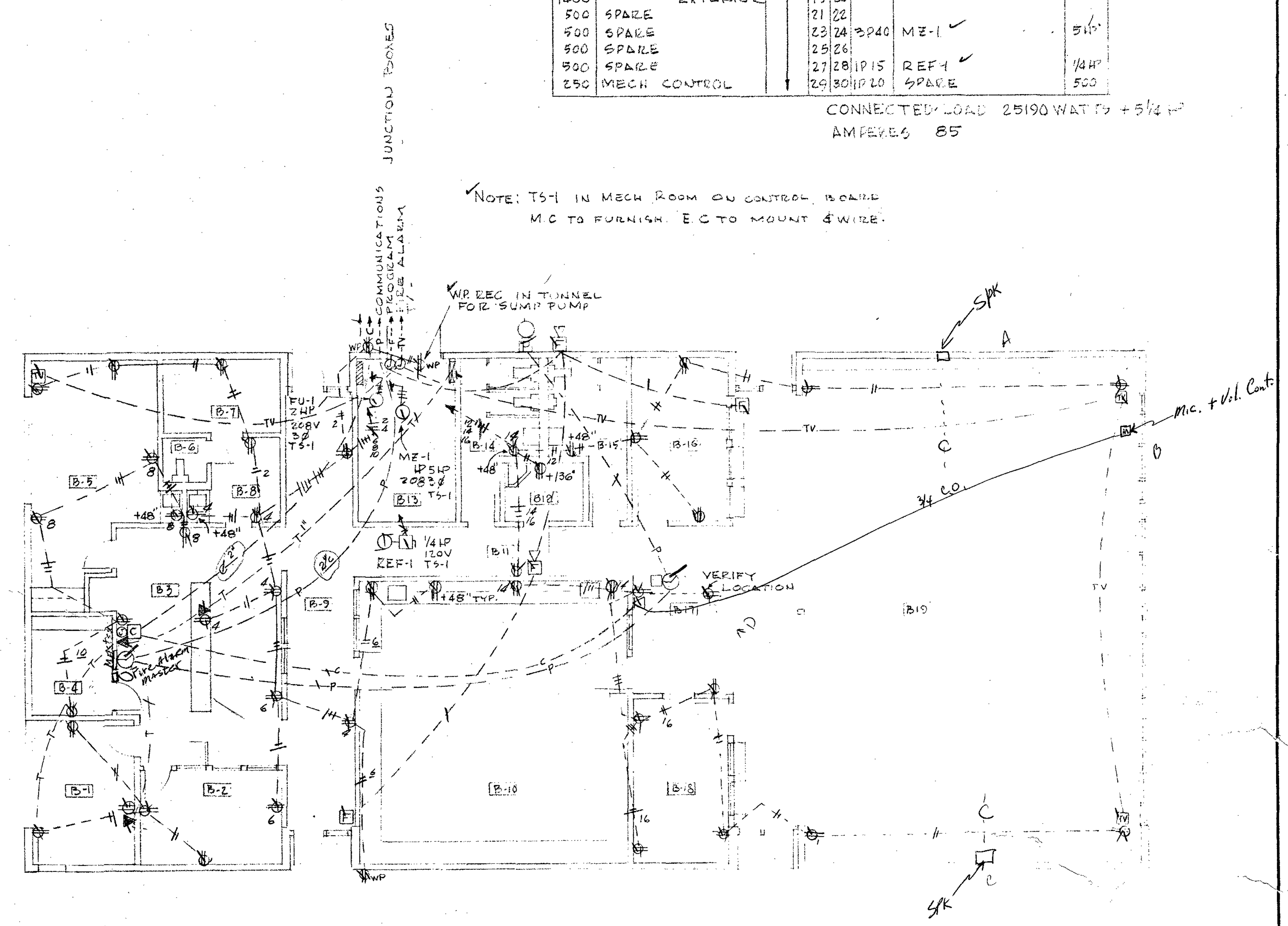
PANEL B 120/208V 3Ø 4WIRE 100 AMPERES
30 CIRCUITS SURFACE BOTTOM LUGS

WATTS	USE	CB	CCT	CCT	CB	USE	WATTS
1440	LIGHTS B-1, 3,	1P20	1	2	1P20	RECEPT. B 5, 7, 9	1000
1510	B-4, 5, 6, 7, 8, 2	↓	3	4	↓	B 8, 3	↓
1100	B-9		5	6		B 10	
1080	B 10, 18		7	8		B 3, 5	
900	B 12, 14, 15, 16		9	10		B 1, 2, 4	
910	B 17		11	12		B 15, 16, 19	
1350	B 19		13	14		B 11, 10, 17	
1350	B 19		15	16		B 18, 19	
1200	B 19		17	18	2P30	FUTURE HOT WATER	2500
1400	EXTERIOR		19	20			
500	SPARE		21	22			
500	SPARE		23	24	3P40	MZ-1 ✓	5 HP
500	SPARE		25	26			
500	SPARE		27	28	1P15	REF-1 ✓	1/4 HP
250	MECH CONTROL		29	30	1P20	SPARE	500

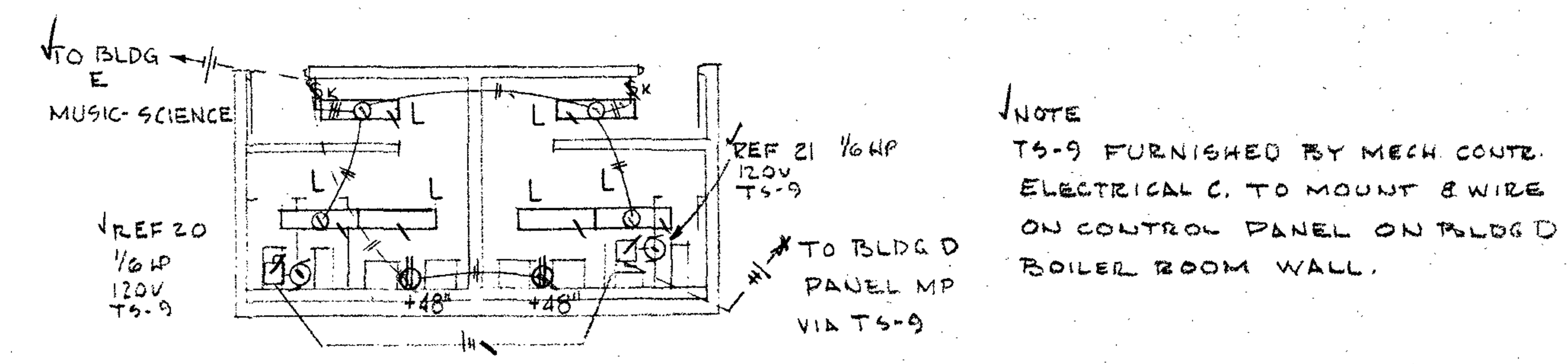
CONNECTED LOAD 25190 WATTS + 5 1/4 HP
AMPERES 85



ELECTRICAL REFLECTED CEILING - LIGHTING 1/8" = 1 FT
ADMINISTRATION BLDG "B"



POWER AND SIGNALS
ELECTRICAL FLOOR PLAN 1/8" = 1 FT-0"
ADMINISTRATION BLDG "B"



✓NOTE
TS-9 FURNISHED BY MECH CONTR. ELECTRICAL C. TO MOUNT & WIRE ON CONTROL PANEL ON BLDG D BOILER ROOM WALL.

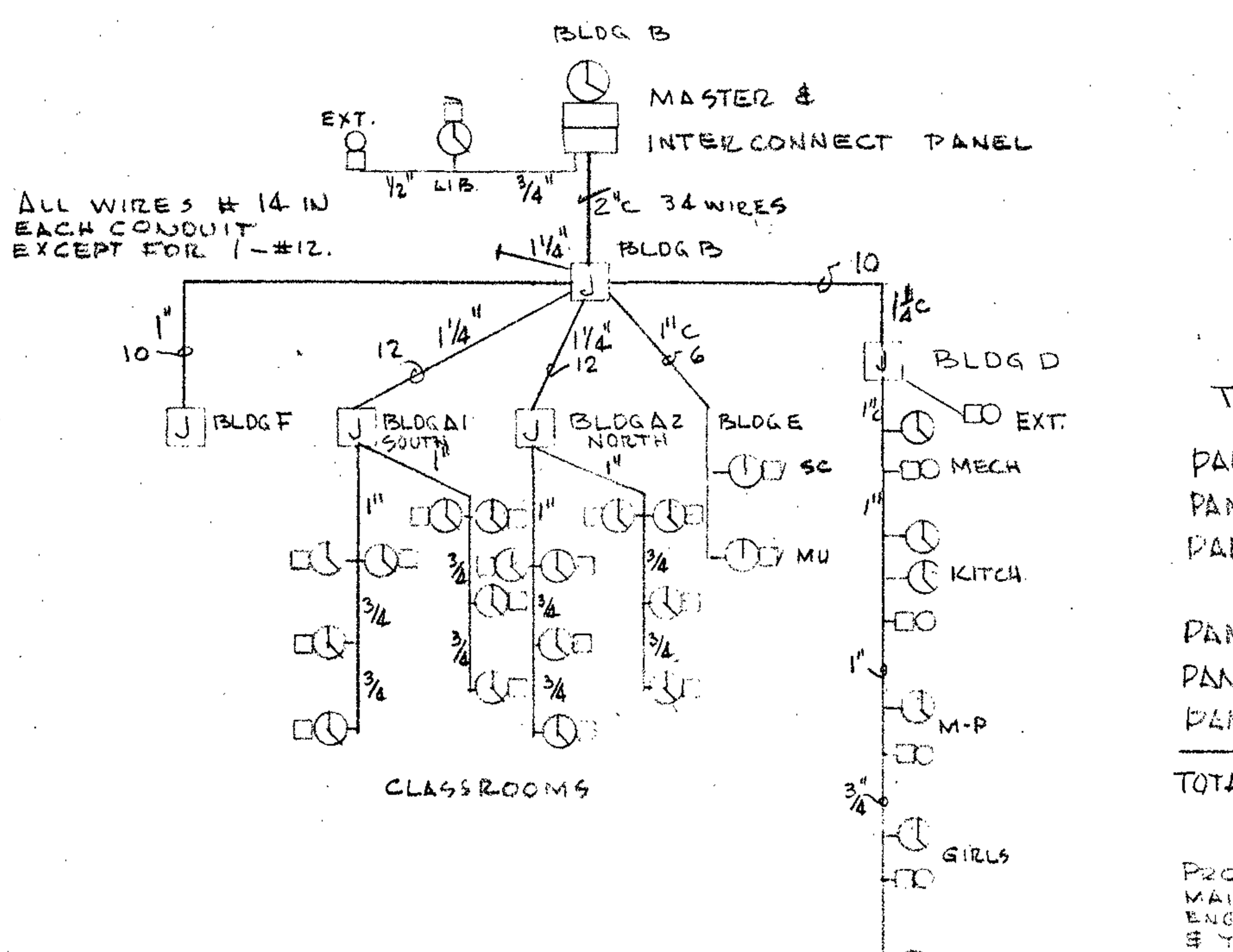
BUILDING "C" - LIGHTING & POWER

Bulletin No. 1 Item No. 37

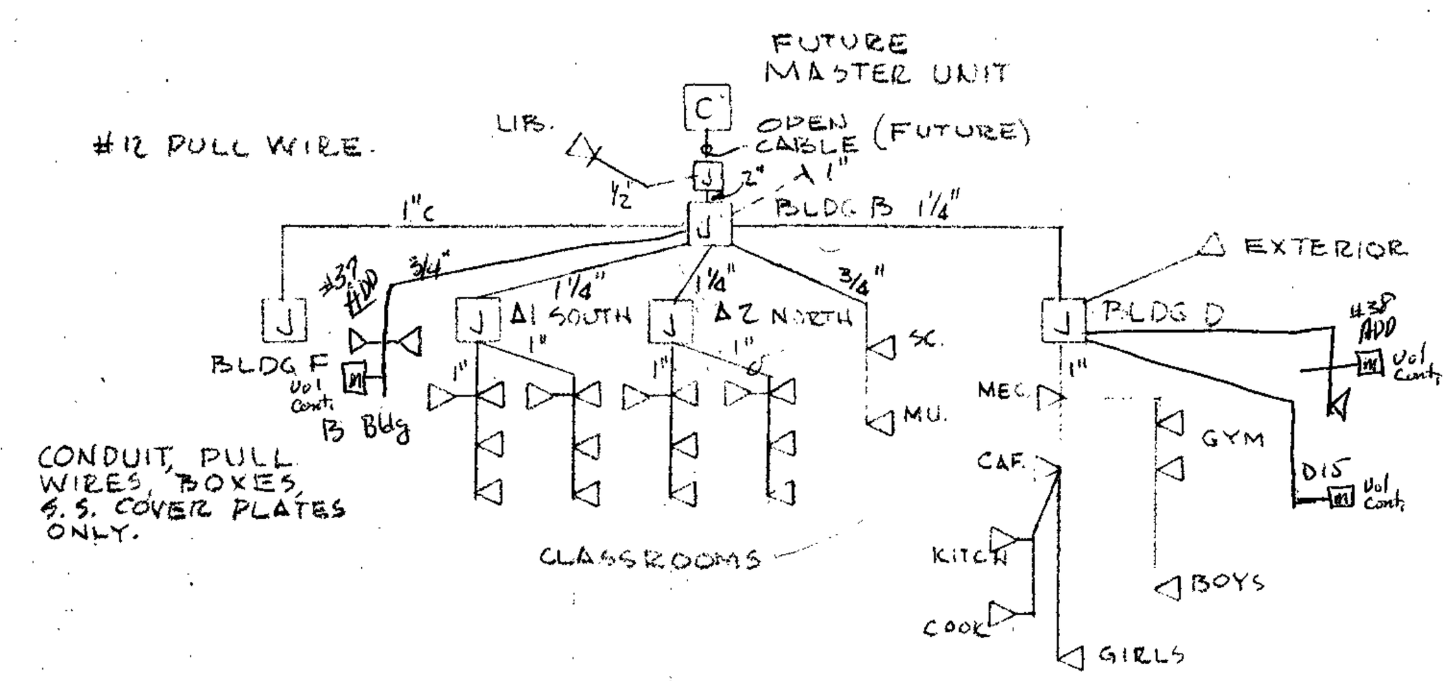
REGISTERED PROFESSIONAL ENGINEER L. S. HORTON — L S Horton

BLDGS. "B" & "C" LIGHTS, POWER & SIGNALS	
EVERGREEN SCHOOL JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON	
LSH	JACK A EDSON AIA ARCHITECTURE & PLANNING 128 EAST MAIN STREET MEDFORD, OREGON
6512	E2 OF 5
OCT 14 66	

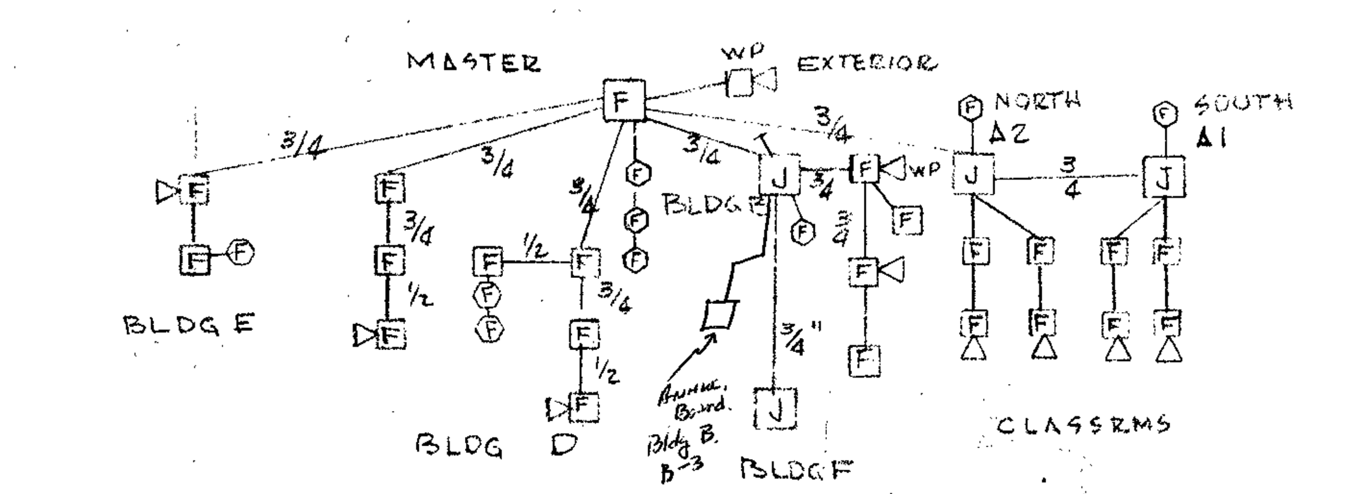
SOUTHERN OREGON STATIONERY



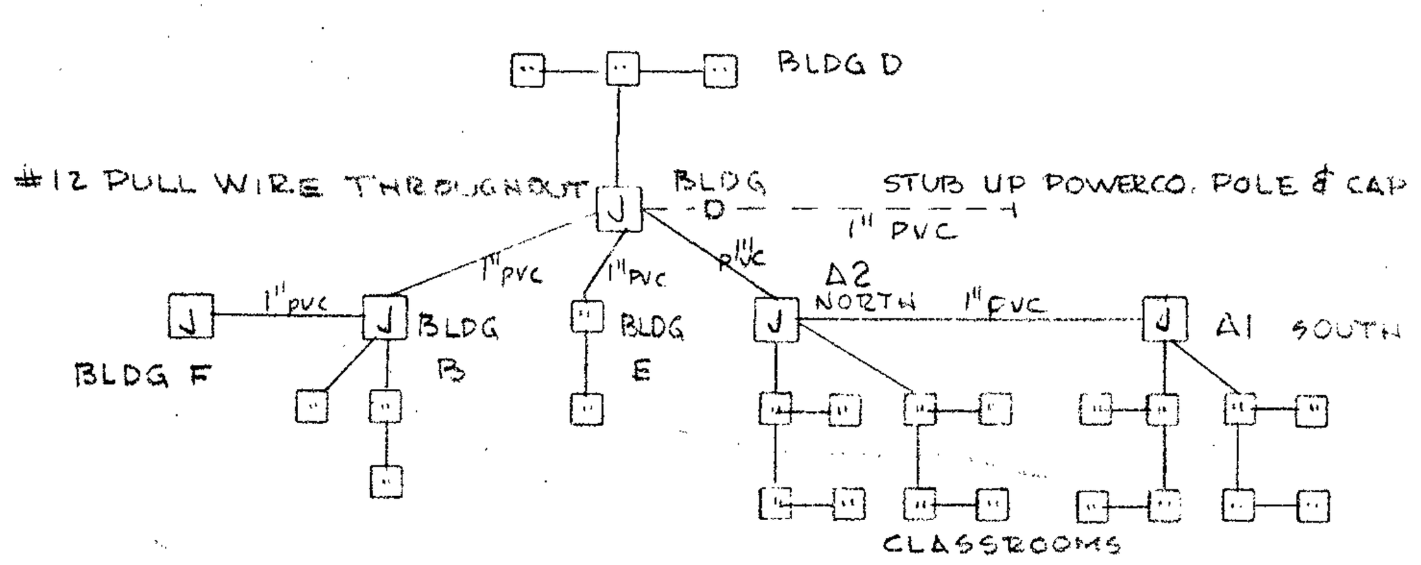
PROGRAM RISER DIAGRAM



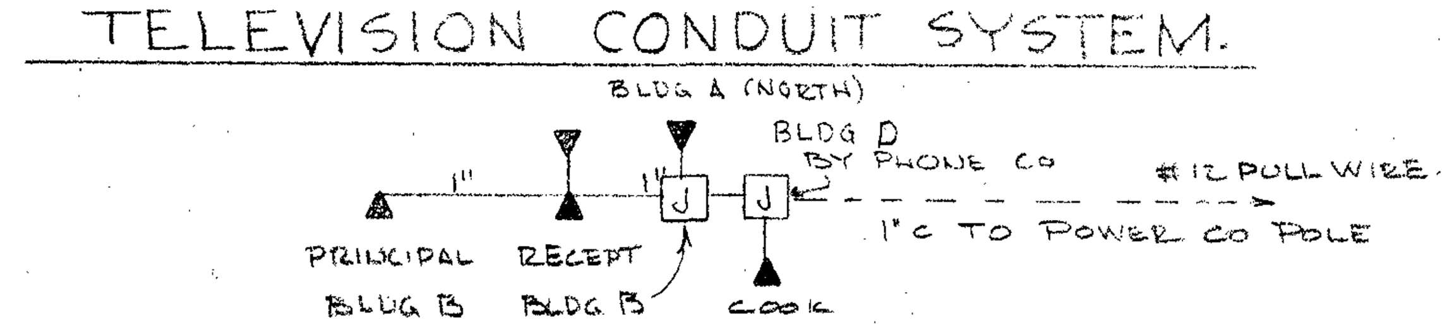
INTERCOMMUNICATIONS RISER DIAGRAM



FIRE ALARM RISER DIAGRAM



TELEVISION CONDUIT SYSTEM.



TELEPHONE CONDUIT SYSTEM

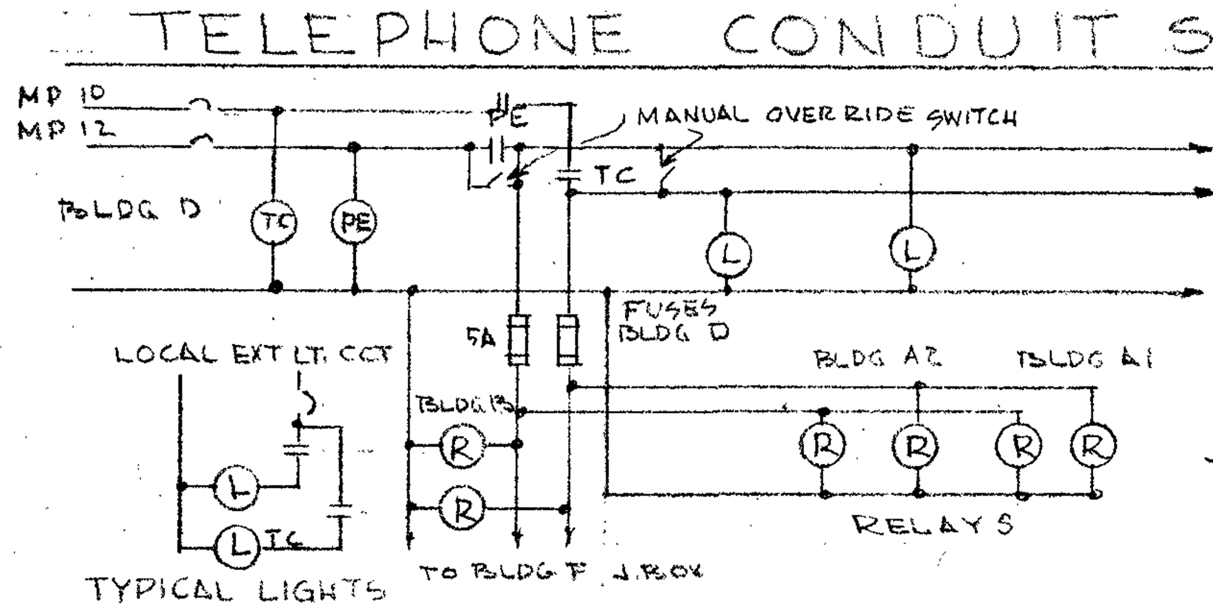


PHOTO ELECTRIC EYE TURNS LIGHTS OFF AT DAWN AND ON AT DUSK. TIME CLOCK TURNS PORTION OFF AT 11PM. RESETS ITSELF AT NOON. RUN LIGHT CONTROL WIRES WITH FEEDERS. PROVIDE PROTECTED WIRING DIAGRAM AT OVERRIDE SWITCHES.

EXTERIOR LIGHTING CONTROLS

NOTE: PROVIDE SPACE IN MAIN PANEL ROOM OR IN BOILER ROOM FOR FOLLOWING FUTURE AIR CONDITIONING UNITS.

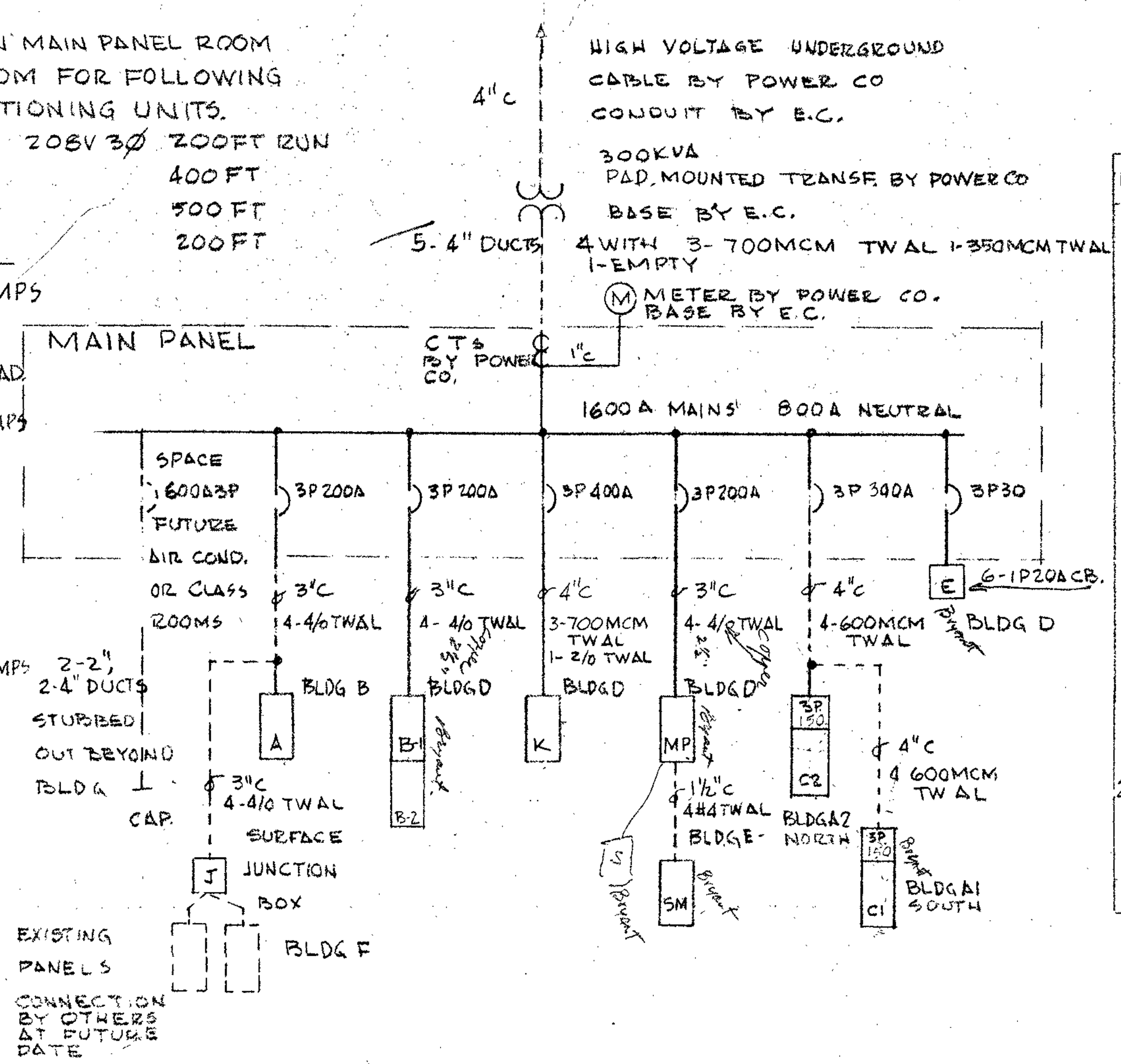
1. 75 AMPS 208V 3Ø 200FT RUN
2. 185 AMPS 400 FT
3. 185 AMPS 500 FT
4. 60 AMPS 200 FT

TOTAL 505 AMPS

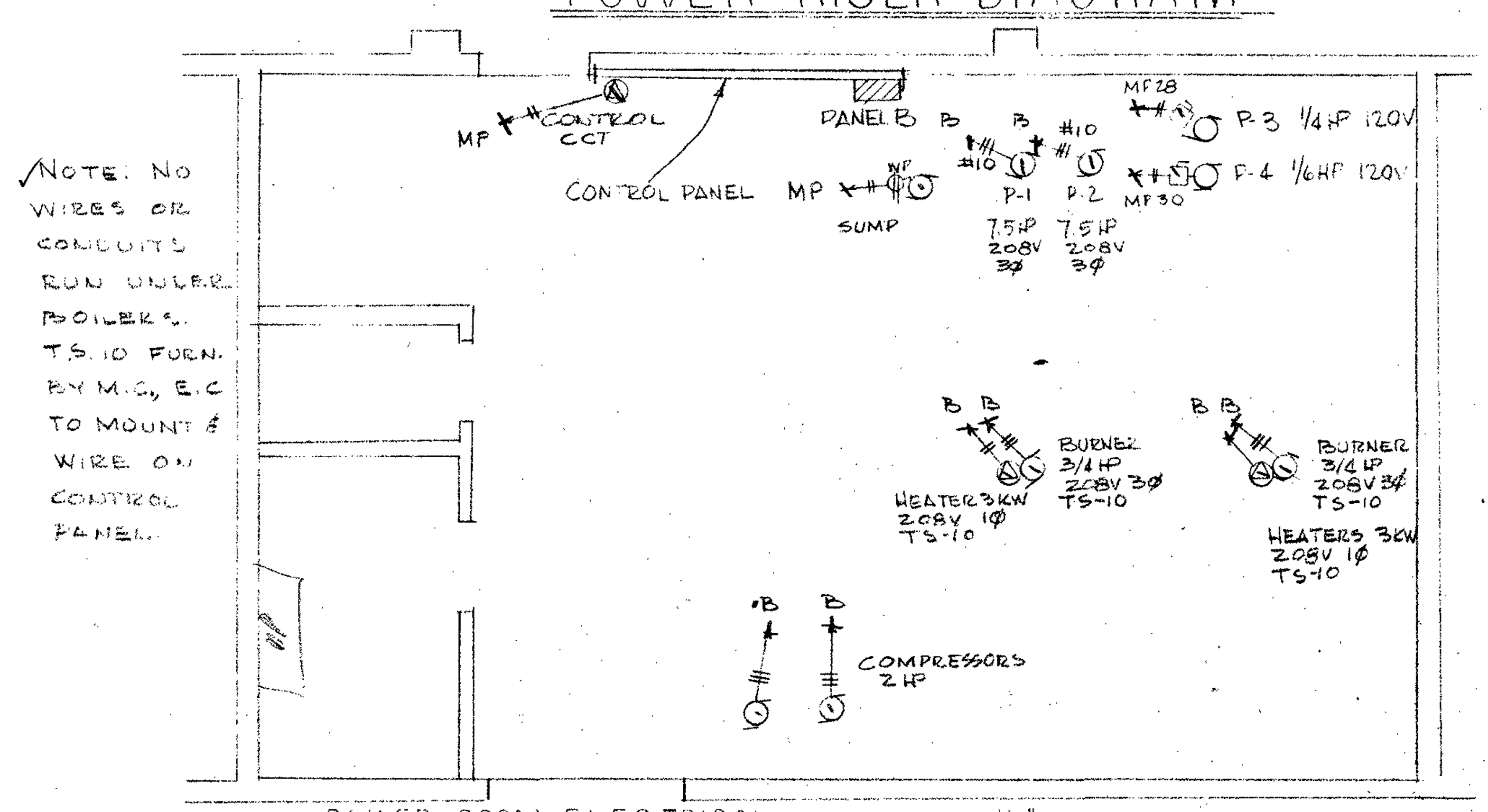
TOTAL PRESENT CONNECTED LOAD

PANEL A	25KW + 5HP	85AMPS
PANEL B	35HP	136
PANEL C-1	40KW + 16HP	155
C-2	40KW + 16HP	155
PANEL F	25KW	70
PANEL K	131 KW	364
PANEL MP	50 KW	139
TOTALS	301 KW + 72HP	1104 AMPS

PROVIDE PLASTIC NAME PLATE ON MAIN PANEL WITH ARCHITECT, ELECT. ENGINEER, ELECT CONTRACTOR, SCHOOL & YEAR OF INSTALLATION ENGRAVED.



POWER RISER DIAGRAM



BOILER ROOM ELECTRICAL SCALE 1/4" = 1FT

PANEL B-2 200 AMPERES 120/208
SURFACE TOP LUGS 3-4/0 TWAL 2½"C

LOAD	USE	CB	CCT	CCT	CB	USE	LOAD
			1	2			
7.5HP	P-1 ✓	3P70	3	4	3P70	P-2 ✓	7.5HP
			5	6			
3KW	OIL HEATER ✓	2P20	7	8	2P20	OIL HEATER ✓	3KW
			9	10			
			11	12			
1500	SPARE	3P30	13	14	3P30	SPARE	1500
			15	16			
			17	18			
1000	SPARE	3P15	19	20	3P15	SPARE	1000
			21	22			
	SPACE	2P20	23	24	2P40	SPACE	
			25	26			
	SPACE	2P20	27	28	2P30	SPACE	
			29	30			

PANEL B-2 MAY BE A SECOND SECTION OF PANEL B-1 WITH PROPER METAL DIVIDER ACCORDING TO CODE

BUILDING D

PANEL K 400 AMPERES 42 CCT 120/208V
FLUSH TOP LUGS 3-700MCM TW AL 1-2/0 TW AL 4"C

LOAD	USE	CB	CCT	CCT	CB	USE	LOAD
360	KITCHEN RECEPT.	1P20	1	2			
360			3	4	3P70	OVEN ✓	18KW
360			5	6			
720	GYM & CAFETERIA REC.		7	8			
1000			9	10	3P70	OVEN ✓	18KW
1000			11	12			
1000			13	14			
360	KITCHEN REC		15	16	3P70	HOT WATER BOOSTER ✓	15KW
360			17	18			
360			19	20	1P15	SPARE	500W
			21	22	1P15	DISHWASHER FAN ✓	1/3HP
½HP	RANGE HOOD FAN ✓	3P15	23	24	1P15	SPARE	500W
			25	26			
			27	28	3P20	DISHWASHER ✓	1HP
12KW	KETTLE ✓	3P50	29	30			
			31	32	1P20	WARMING PANS	1800W
			33	34			1800
21 KW	RANGE ✓	3P90	35	36			1800
			37	38			1800
500	SPARE	1P20	39	40		SPARE	500
500	SPARE	1P20	41	42		SPARE	500

TOTAL CONNECTED LOAD 131KW
364 AMPERES

PANEL MP 200 AMPERES 42 CCTS 120/208V
SURFACE TOP OR BOTTOM LUGS 4-4/0 AL TW. 3"C

LOAD	USE	CB	CCT	CCT	CB	USE	LOAD
1080	MULTI PURPOSE LTS	1P20	1	2	1P20	MULTI PURPOSE REC	1000
			3	4		STAGE RECEPT	1000
			5	6		STAGE RECEPT	1000
			7	8		BOILER RM REC.	500
			9	10		EXTERIOR LTS	1500
			11	12		EXTERIOR LTS	1500
1080	CAFETERIA LTS		13	14			
			15	16	3P70	PANEL S STAGE LTS	7500
			17	18			
1195	KITCHEN LTS		19	20			
880			21	22	3P70	BLDG E PANEL SM	15000
1420			23	24			
1080	LOCKER ROOM LTS		25	26	1P20	SUMP PUMP ✓	½HP
1080			27	28		[illegible]	¼HP + ⅙
550			29	30		REF 21, 20 ⅙HP EA	⅓HP
1080	STAGE LTS		31	32		REF-10 ✓	¼HP
1090	LOCKER RM LTS		33	34		EC-1 ✓, EC-2, EVAP DIFF ✓	¼HP
1080	LOCKER RM LTS		35	36		CONTROL CIRCUIT	250
1000	BOILER RM LTS		37	38		SPARE	500
1000	STORAGE LTS		39	40		SPARE	250
1100	TUNNEL LTS		41	42		SPARE	250

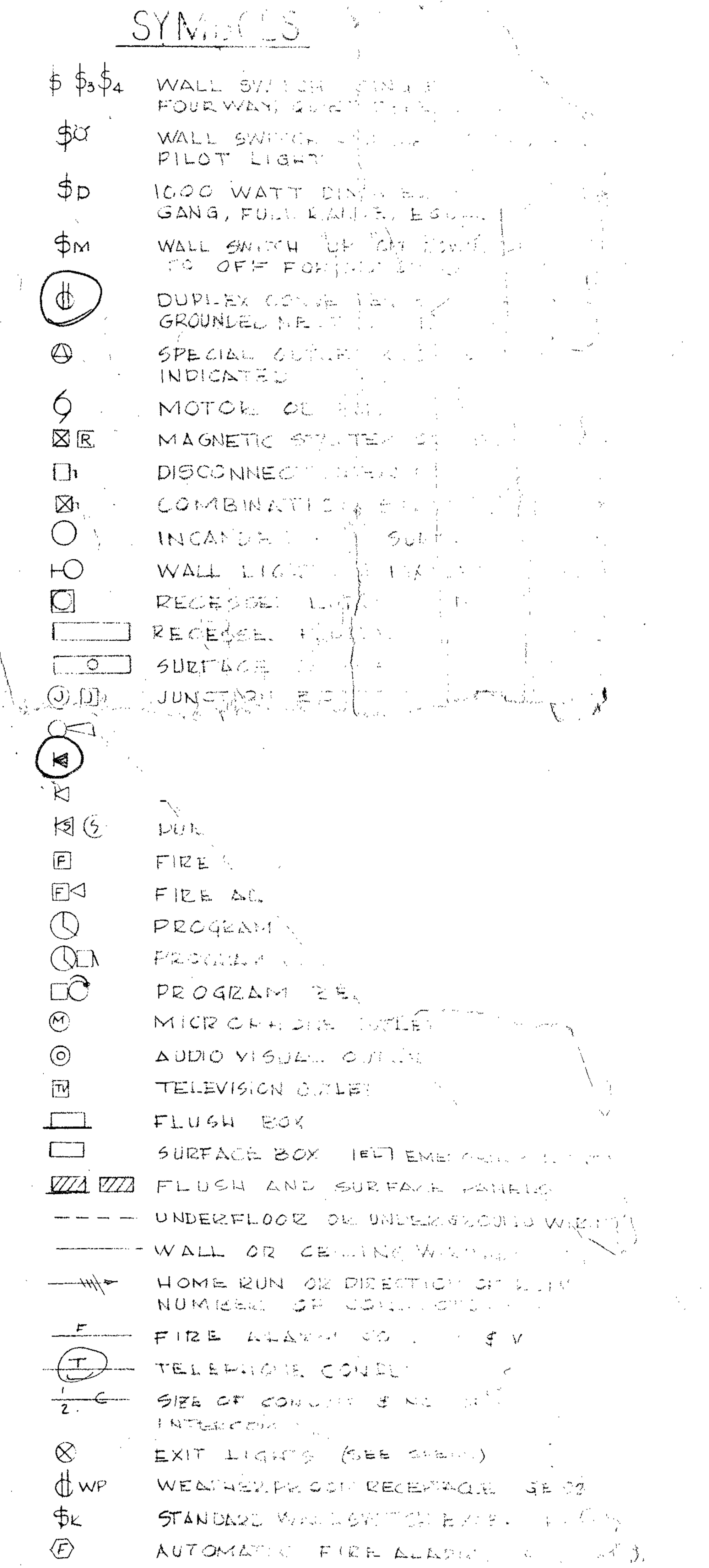
TOTAL CONNECTED LOAD 50000 WATTS
AMPERES 139

PANEL B-1 200 AMPERES 120/208
SURFACE TOP LUGS 3-4/0 TWAL 2½"C

LOAD	USE	CB	CCT	CCT	CB	USE	LOAD
			1	2			
5HP	HV-1 ✓	3P40	3	4	3P15	REF-6 ✓	½HP
			5	6			
			7	8			
1HP	HV-2 ✓	3P20	9	10	3P15	REF-7 ✓	½HP
			11	12			
			13	14			
½HP	HV-3 ✓	3P15	15	16	3P15	REF-22 ✓	½HP
			17	18			
			19	20			
¾HP	HV-4 ✓	3P15	21	22	3P20	CU-1 ✓	2HP
			23	24			
			25	26			
¾HP	HV-5 ✓	3P15	27	28	3P20	CU-2 ✓	2HP
			29	30			
			31	32			
¾HP	BURNER ✓	3P15	33	34	3P20	COLD ROOM CONDENSOR ✓	2HP
			35	36			
			37	38			
2HP	COMPRESSOR ✓	3P20	39	40	3P20	COMPRESSOR ✓	2HP
			41	42			

TOTAL CONNECTED LOAD B-1, B-2, 34¾ HP
AMPERES 136

SYMBOLS



PANEL S 100 AMPERES [illegible]
FLUSH BOTTOM LUGS 24 CCTS 4-#4 [illegible]

LOAD	USE	CB	CCT	CCT	CB	USE	LOAD
1000	DIMMERS ✓	[illegible]	1	2	[illegible]	[illegible]	[illegible]
1000	" ✓	1P20	3	4	1P20	[illegible]	[illegible]
1000	" ✓	1P20	5	6	[illegible]	[illegible]	[illegible]
500	SPARE	1P20	7	8	[illegible]		
500	"	1P20	9	10	[illegible]	[illegible]	
500	"	1P20	11	12	[illegible]		
	SPACE		13	14			
			15	16			
			17	18			
			19	20			
			21	22			
			23	24			

Bulletin No. 1 Item No. 40

REGISTERED PROFESSIONAL ENGINEER 3230 L.S. Horton OREGON NOV. 9, 1951 L. S. HORTON

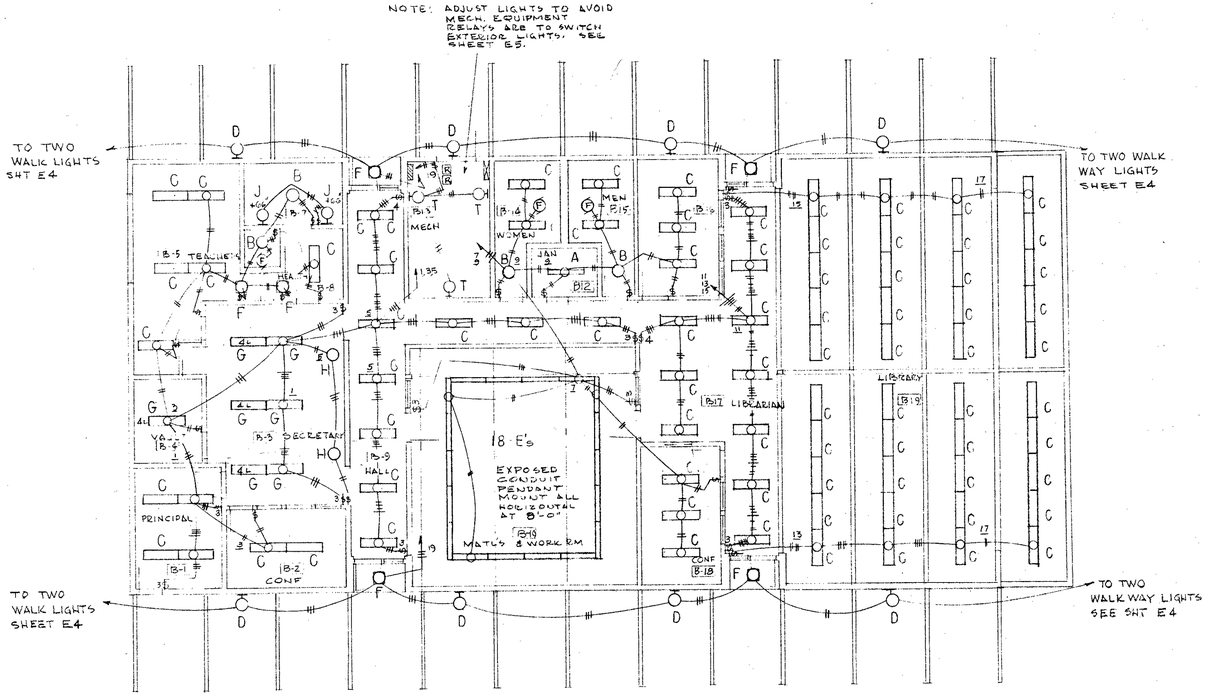
PANELS, RISERS, [illegible]	
EVERGREEN [illegible] JOSEPHINE CO. [illegible] UNIT [illegible]	
LSH	JACK A EDSON AIA ARCHITECTURE & PLANNING 128 EAST MAIN STREET MEDFORD, OREGON
6512	E5
OCT 14, 66	

PANEL B 120/208V 3Ø 4WIRE 100 AMPERES
30 CIRCUITS SURFACE BOTTOM LUGS

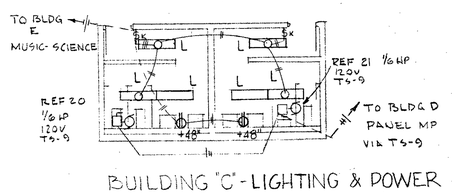
WATTS	USE	CB	CCT	CCT	CB	USE	WATTS
1440	LIGHTS B-1, 3,	1P20	1	2	1P20	RECEPT. B 5, 7, 9	1000
1510	B-4, 5, 6, 7, 8, 2		3	4		B 8, 3	
1100	B-9		5	6		B 10	
1080	B 10, 18		7	8		B 3, 5	
900	B 12, 14, 15, 16		9	10		B 1, 2, 4	
910	B 17		11	12		B 15, 16, 19	
1350	B 19		13	14		B 11, 10, 17	
1350	B 19		15	16		B 18, 19	
1200	B 19		17	18			
1400	EXTERIOR		19	20	2P30	FUTURE HOT WATER	2500
500	SPARE		21	22			
500	SPACE		23	24	3P40	ME-1	5HP
500	SPARE		25	26			
500	SPARE		27	28	1P15	REF-1	1/4 HP
250	MECH CONTROL		29	30	1P20	SPARE	500

CONNECTED LOAD 25190 WATTS + 5 1/4 HP
AMPERES 85

NOTE: ADJUST LIGHTS TO AVOID MECH. EQUIPMENT RELAYS ARE TO SWITCH EXTERIOR LIGHTS. SEE SHEET E5.



ELECTRICAL REFLECTED CEILING - LIGHTING 1/8"= 1FT
ADMINISTRATION BLDG "B"

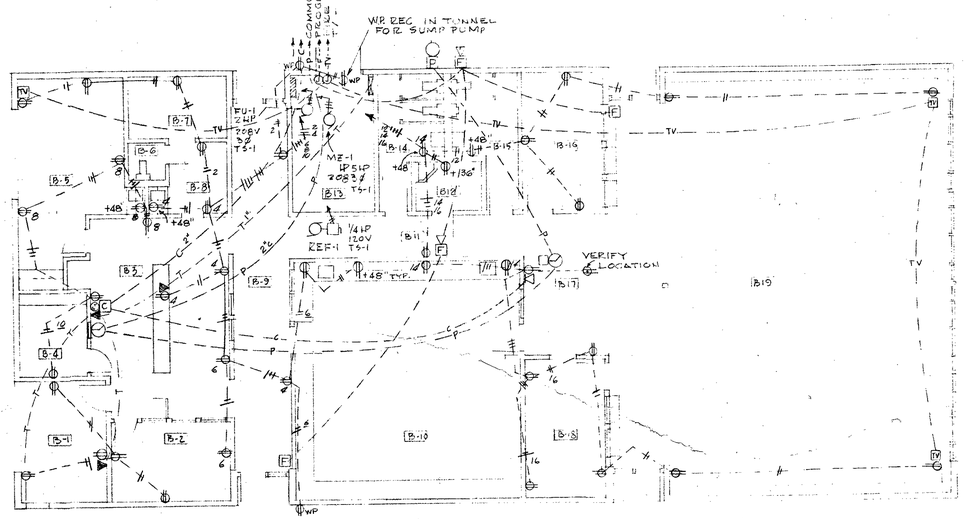


BUILDING "C" - LIGHTING & POWER

NOTE
TS-9 FURNISHED BY MECH CONTR. ELECTRICAL C. TO MOUNT & WIRE ON CONTROL PANEL ON BLDG D BOILER ROOM WALL.

JUNCTION BOXES

NOTE: TS-1 IN MECH ROOM ON CONTROL BOARD
M C TO FURNISH. E C TO MOUNT & WIRE.



POWER AND SIGNALS
ELECTRICAL FLOOR PLAN 1/8"= 1FT-0"
ADMINISTRATION BLDG "B"

REGISTERED PROFESSIONAL ENGINEER
L. S. HORTON
OCT 9 1981

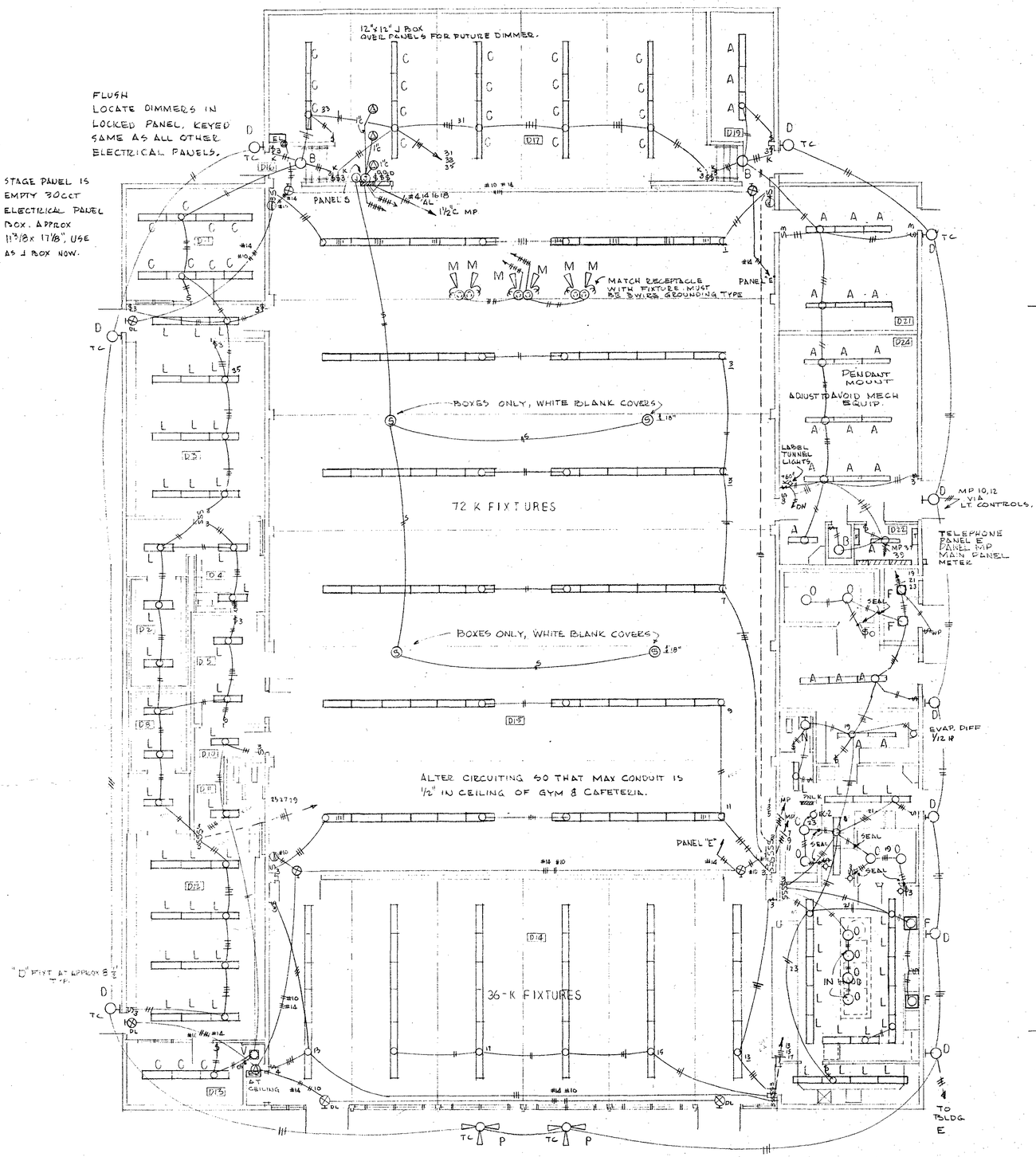
RECEIVED OCT 13 1986 JACK A. EDSON Architect

BLDGS. "B" & "C" LIGHTS, POWER & SIGNALS
EVERGREEN SCHOOL
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

LSH
6512

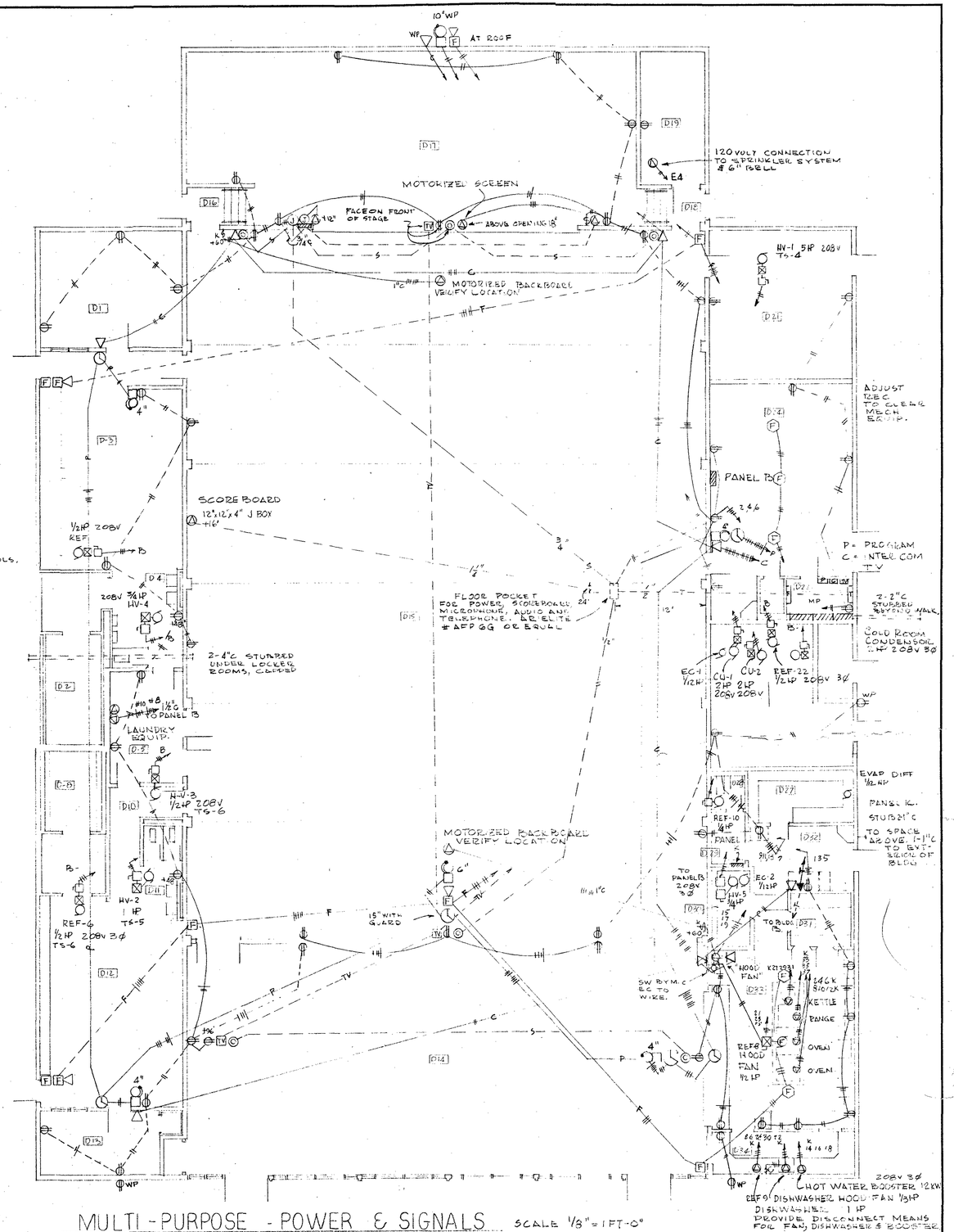
JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

E 2
OF 5



BUILDING 'D'
MULTI-PURPOSE LIGHTING SCALE 1/8"=1FT-0"

NOTE: INSTALL "T" FIXTURES IN ROOF OF TUNNEL AT APPROX 50' INTERVALS BUT INCLUDE ONE AT EVERY CHANGE IN DIRECTION OF THE TUNNEL AND AT ENDS. TOTAL FIXTURES 11, TOTAL LEUGTH OF CONDUIT APPROX 400', #10 WIRE.



MULTI-PURPOSE - POWER & SIGNALS SCALE 1/8"=1FT-0"
BUILDING "D"

REGISTERED PROFESSIONAL ENGINEER NOV 9 1966 L.S. HORTON

RECEIVED OCT 12 1966 JACK A EDSON Architect

BUILDING "D", LIGHTS, POWER & SIGNALS

EVERGREEN SCHOOL
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT OREGON

L S H
6512

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

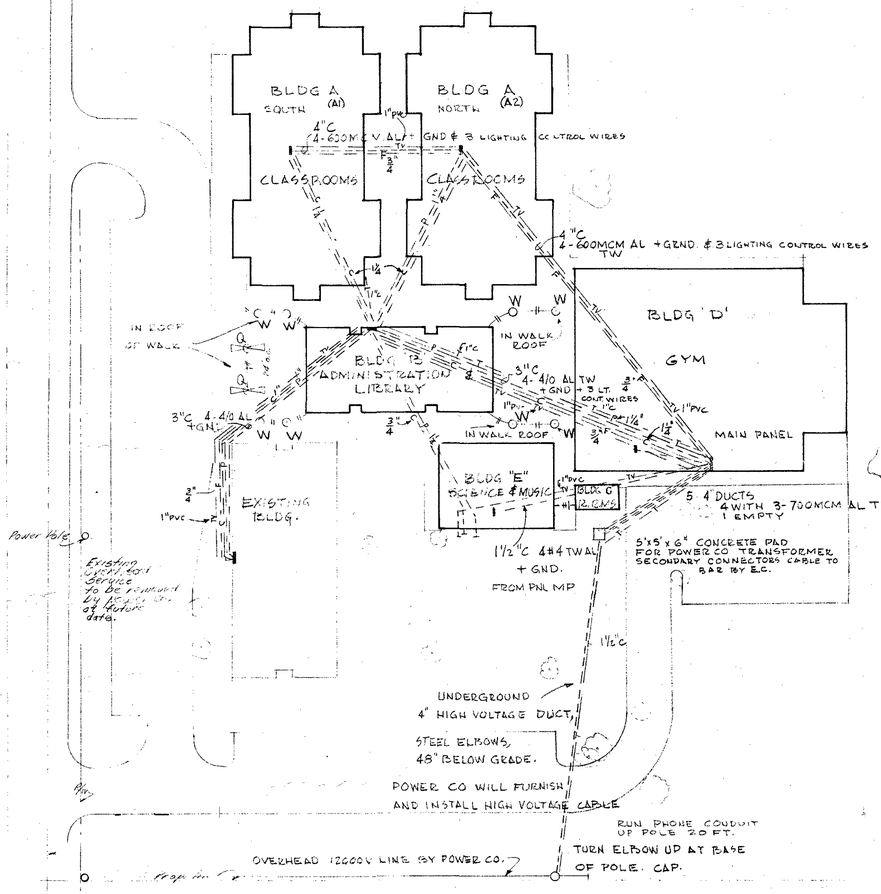
E3
OF 5

SCIENCE-MUSIC PANEL 30 CCTS 100A 3Ø4W 120/208V 3P 70A MAIN CB.

FLUSH BOTTOM LUGS

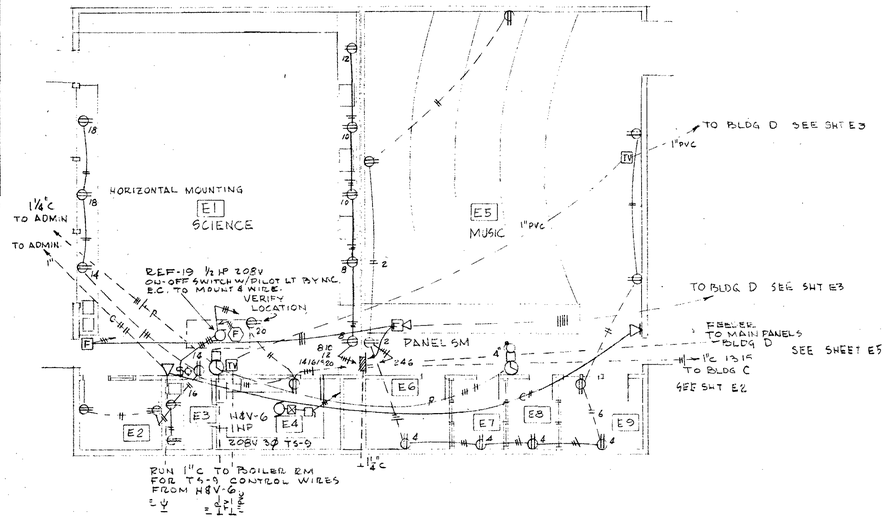
LOAD		CB	CCT	CCT	CB	USE	LOAD
1080	MUSIC LIGHTS	1P20	1	2	1P20	MUSIC REC.	540
1080	" "		3	4		" "	720
1080	" "		5	6		" "	540
1080	SCIENCE LIGHTS		7	8		SCIENCE REC.	360
1080			9	10			360
860			11	12			360
1000	BLDG G		13	14			360
1000	BLDG G		15	16			720
			17	18			360
1HP	H&V-G	3P20	19	20			360
			21	22		SPARES	500
			23	24		SPARES	500
½	REF-9	3P15	25	26		SPARES	500
			27	28		"	500
500	SPARE		29	30		"	500

TOTAL CONNECTED LOAD 15000W



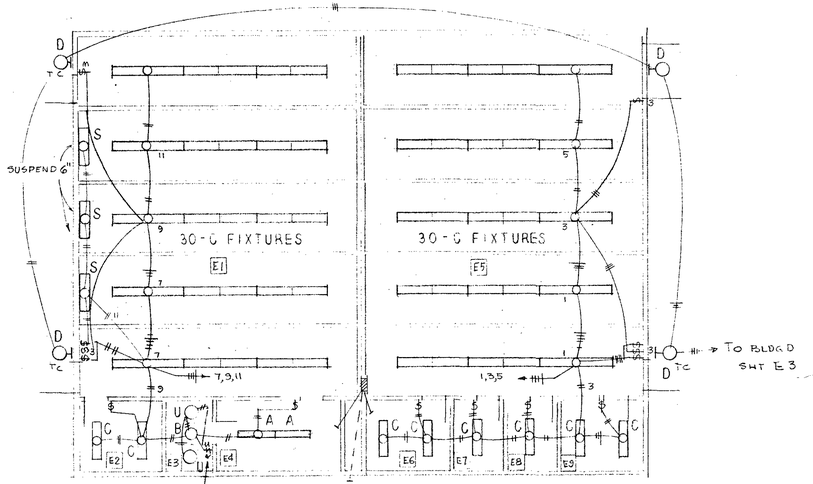
ELECTRICAL SITE PLAN SCALE 1"=40'-0"

NORTH



SCIENCE MUSIC POWER & SIGNALS BLDG "E"

SCALE ⅛" = 1'-0"



SCIENCE, MUSIC LIGHTING BLDG "E"

SCALE ⅛" = 1'-0"

REGISTERED PROFESSIONAL ENGINEER OREGON L. S. HORTON EXPIRES: 6-30-67

RECEIVED OCT 12 1966 JACK A. EDSON Architect

SITE, BLDG "E", LIGHTS, POWER & SIGNALS

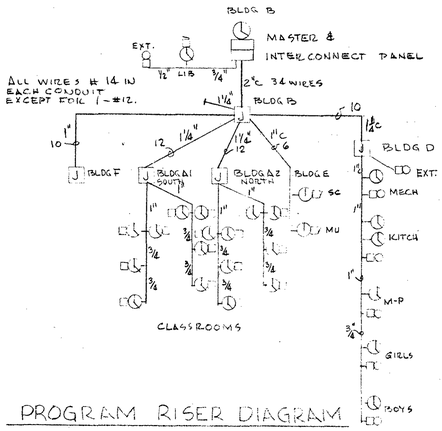
EVERGREEN SCHOOL
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

LSH
6512

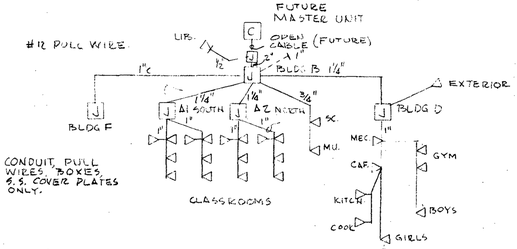
JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

E 4 OF 5

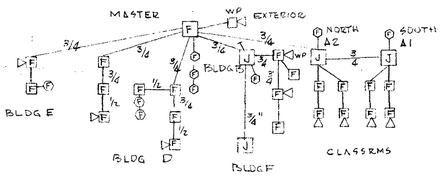
SOUTHERN OREGON STATIONERY



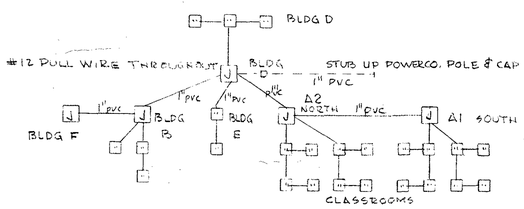
PROGRAM RISER DIAGRAM



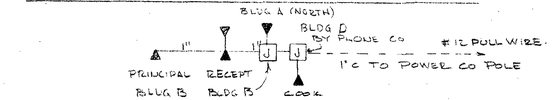
INTERCOMMUNICATIONS RISER DIAGRAM



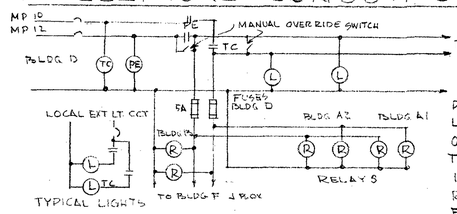
FIRE ALARM RISER DIAGRAM



TELEVISION CONDUIT SYSTEM.



TELEPHONE CONDUIT SYSTEM



DWOTO ELECTRIC EYE TURNS LIGHTS OFF AT DAWN AND ON AT DUSK. TIME CLOCK TURNS PORTION OFF AT 11 PM. RESETS ITSELF AT NOON. RUN LIGHT CONTROL WIRES WITH FEEDERS. PROVIDE PROTECTED WIRING DIAGRAM AT OVERRIDE SWITCHES.

EXTERIOR LIGHTING CONTROLS

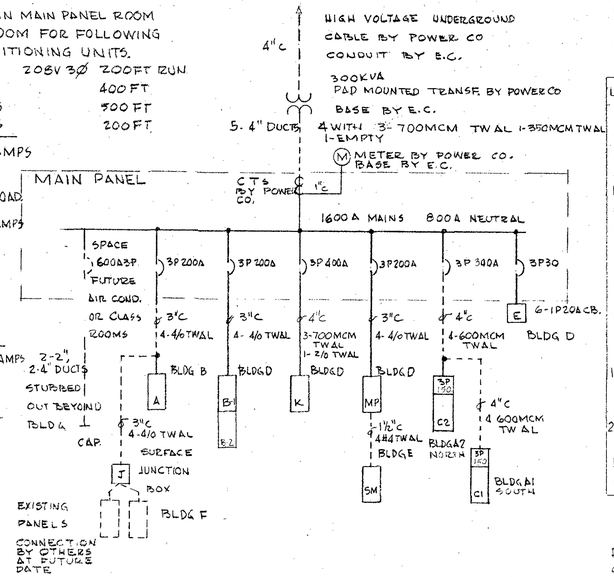
NOTE: PROVIDE SPACE IN MAIN PANEL ROOM OR IN BOILER ROOM FOR FOLLOWING FUTURE AIR CONDITIONING UNITS.

1.	75 AMPS	208V 3Ø	200 FT RUN
2.	185 AMPS		400 FT
3.	185 AMPS		500 FT
4.	60 AMPS		200 FT
	TOTAL 505 AMPS		

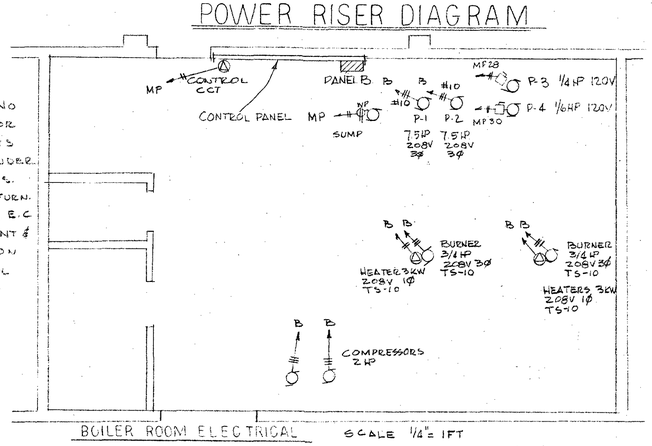
TOTAL PRESENT CONNECTED LOAD

PANEL A	25KW + 5 HP	85 AMPS	
PANEL B	35 HP	136	
PANEL C-1	40 KW + 16 HP	155	
C-2	40 KW + 16 HP	155	
PANEL F	25 KW	70	
PANEL K	131 KW	364	
PANEL MP	50 KW	139	
TOTALS	301 KW + 72 HP	1104 AMPS	

PROVIDE PLASTIC NAME PLATE ON MAIN PANEL WITH ARCHITECT, ELECT. ENGINEER, ELECT. CONTRACTOR, SCHOOL & YEAR OF INSTALLATION ENGRAVED.



POWER RISER DIAGRAM



NOTE: NO WIRES OR CONDUITS RUN UNDER BOILER S. T.S. TO FURN. BY M.C., E.C. TO MOUNT & WIRE ON CONTROL PANEL.

PANEL B-2 200 AMPERES 120/208
SURFACE TOP LUGS 3-4/0 TWAL 2½"C

LOAD	USE	CB	CCT	CCT	CB	USE	LOAD
			1	2			
7.5 HP	P-1	3P70	3	4	3P70	P-2	7.5 HP
			5	6			
			7	8			
3 KW	OIL HEATER	2P20	9	10	2P20	OIL HEATER	3 KW
			11	12			
1500	SPARE	3P30	13	14	3P30	SPARE	1500
			15	16			
			17	18			
1000	SPARE	3P15	19	20	3P15	SPARE	1000
			21	22			
	SPACE	2P20	23	24	2P40	SPACE	
			25	26			
	SPACE	2P20	27	28	2P30	SPACE	
			29	30			

PANEL B-2 MAY BE A SECOND SECTION OF PANEL B-1 WITH PROPER METAL DIVIDER ACCORDING TO CODE

BUILDING D

PANEL K 400 AMPERES 42 CCT 120/208V
FLUSH TOP LUGS 3-700 MCM TW AL 1-2/0 TW AL 4"C

LOAD	USE	CB	CCT	CCT	CB	USE	LOAD
360	KITCHEN RECEPT.	1P20	1	2			
360			3	4	3P70	OVEN	18 KW
360			5	6			
720	GYM & CAFETERIA REC.		7	8			
1000			9	10	3P70	OVEN	18 KW
1000			11	12			
1000			13	14			
360	KITCHEN REC		15	16	3P70	HOT WATER BOOSTER	15 KW
360			17	18			
360			19	20	1P15	SPARE	500 W
			21	22	1P15	DISHWASHER FAN	⅓ HP
½ HP	RANGE HOOD FAN	3P15	23	24	1P15	SPARE	500 W
			25	26			
			27	28	3P20	DISHWASHER	1 HP
12 KW	KETTLE	3P50	29	30			
			31	32	1P20	WARMING PANS	1800 W
			33	34			1800
21 KW	RANGE	3P50	35	36			1800
			37	38			1800
500	SPARE	1P20	39	40		SPARE	500
500	SPARE	1P20	41	42		SPARE	500

TOTAL CONNECTED LOAD 131 KW
364 AMPERES

PANEL MP 200 AMPERES 42 CCTS 120/208V
SURFACE TOP OR BOTTOM LUGS 4-4/0 AL TW 3"C

LOAD	USE	CB	CCT	CCT	CB	USE	LOAD
1080	MULTI PURPOSE LTS	1P20	1	2	1P20	MULTI PURPOSE REC	1000
			3	4		STAGE RECEPT	1000
			5	6		STAGE RECEPT	1000
			7	8		BOILER RM REC.	500
			9	10		EXTERIOR LTS	1500
			11	12		EXTERIOR LTS	1500
1080	CAFETERIA LTS		13	14			
			15	16	3P70	PANEL S STAGE LTS	7530
1195	KITCHEN LTS		17	18			
880			19	20			
1420			21	22	3P70	BLDG E PANEL SM	15000
1080	LOCKER ROOM LTS		23	24			
1080			25	26	1P20	SUMP PUMP	½ HP
550			27	28		½ HP VIA CONTROL PANEL	½ HP +½
1080	STAGE LTS		29	30		REF 21, 20 ½ HP EA	½ HP
1090	LOCKER RM LTS		31	32		REF-10	¼ HP
1080	LOCKER RM LTS		33	34		EC-1, EC-2, EVAP DIFF	¼ HP
1000	BOILER RM LTS		35	36		CONTROL CIRCUIT	250
1000	STORAGE LTS		37	38		SPARE	500
1100	TUNNEL LTS		39	40		SPARE	250
			41	42		SPARE	250

TOTAL CONNECTED LOAD 50000 WATTS
AMPERES 139

PANEL B-1 200 AMPERES 120/208
SURFACE TOP LUGS 3-4/0 TWAL 2½"C

LOAD	USE	CB	CCT	CCT	CB	USE	LOAD
			1	2			
5 HP	HV-1	3P40	3	4	3P15	REF-6	½ HP
			5	6			
			7	8			
1 HP	HV-2	3P20	9	10	3P15	REF-7	½ HP
			11	12			
			13	14			
½ HP	HV-3	3P15	15	16	3P15	REF-22	½ HP
			17	18			
			19	20			
¾ HP	HV-4	3P15	21	22	3P20	CU-1	2 HP
			23	24			
			25	26			
¾ HP	HV-5	3P15	27	28	3P20	CU-2	2 HP
			29	30			
			31	32			
¾ HP	BURNER	3P15	33	34	3P20	COLD ROOM CONDENSOR	2 HP
			35	36			
			37	38			
2 HP	COMPRESSOR	3P20	39	40	3P20	COMPRESSOR	2 HP
			41	42			

TOTAL CONNECTED LOAD B-1, B-2, 3 ¾ HP
AMPERES 136

PANEL S 100 AMPERES 120/208V 3Ø 4W
FLUSH BOTTOM LUGS 24 CCTS 4-#4 RHW AL

LOAD	USE	CB	CCT	CCT	CB	USE	LOAD
1000	DIMMERS	1P20	1	2	1P20	SPARE	500
1000	"	1P20	3	4	1P20	SPARE	500
1000	"	1P20	5	6	1P20	SPARE	500
500	SPARE	1P20	7	8	1P20	SPARE	500
500	"	1P20	9	10	1P20	SPARE	500
500	"	1P20	11	12	1P20	SPARE	500
	SPACE		13	14		SPACE	
			15	16			
			17	18			
			19	20			
			21	22			
			23	24			

SYMBOLS

- $ $3 $4 — WALL SWITCH SINGLE POLE THREE WAY & FOUR WAY, QUIET TYPE 20 AMP 120/277V
- $P — WALL SWITCH SIMILAR TO ABOVE BUT WITH PILOT LIGHT
- $D — 1000 WATT DIMMER SWITCH DOUBLE GANG, FULL RANGE, EQUAL TO HUNT PC1013
- $M — WALL SWITCH "UP" "OFF" "DOWN", SPRING RETURN TO OFF FOR MOTORIZED SCREEN
- DUPLEX CONVENIENCE RECEPTACLE 3W GROUNDED NEUTRAL 120V 15AMP
- SPECIAL OUTLET & CONNECTION TO EQUIPMENT INDICATED
- MOTOR OR FAN
- MR — MAGNETIC STARTER OR RELAY
- DISCONNECT MEANS
- COMBINATION STARTER AND DISCONNECT
- INCANDESCENT SURFACE LIGHTING FIXTURE
- WALL LIGHTING FIXTURE
- RECESSED LIGHTING FIXTURE
- RECESSED FLUORESCENT FIXTURE
- C — SURFACE OR SUSPENDED FLUORESCENT FIXTURE
- J J — JUNCTION BOX, SIZE AS REQUIRED
- SPOT OR FLOOD LIGHTS
- TELEPHONE OUTLET
- INTERCOM SPEAKER
- PUBLIC ADDRESS SYSTEM SPEAKERS
- F — FIRE ALARM BREAK GLASS STATION
- F — FIRE ALARM HORN
- PROGRAM CLOCK
- PROGRAM CLOCK WITH BUZZER
- PROGRAM BELL
- M — MICROPHONE OUTLET
- AUDIO VISUAL OUTLET
- TV — TELEVISION OUTLET
- FLUSH BOX
- SURFACE BOX — EL EMERGENCY LIGHTING PANEL (SEE SPECS.)
- FLUSH AND SURFACE PANELS
- UNDERFLOOR OR UNDERGROUND WIRING
- WALL OR CEILING WIRING
- HOME RUN OR DIRECTION OF RUN ALSO NUMBER OF CONDUCTORS
- F — FIRE ALARM CONDUIT & WIRING
- T — TELEPHONE CONDUIT
- 1/2"C — SIZE OF CONDUIT & NO OF WIRES FOR INTERCOM
- EXIT LIGHTS (SEE SPECS.)
- WP — WEATHERPROOF RECEPTACLE GE 9227-5 COVER
- $EL — STANDARD WALL SWITCH EXCEPT KEY ACTUATED
- F — AUTOMATIC FIRE ALARM STATION

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PANELS, RISERS, SYMBOLS

EVERGREEN SCHOOL
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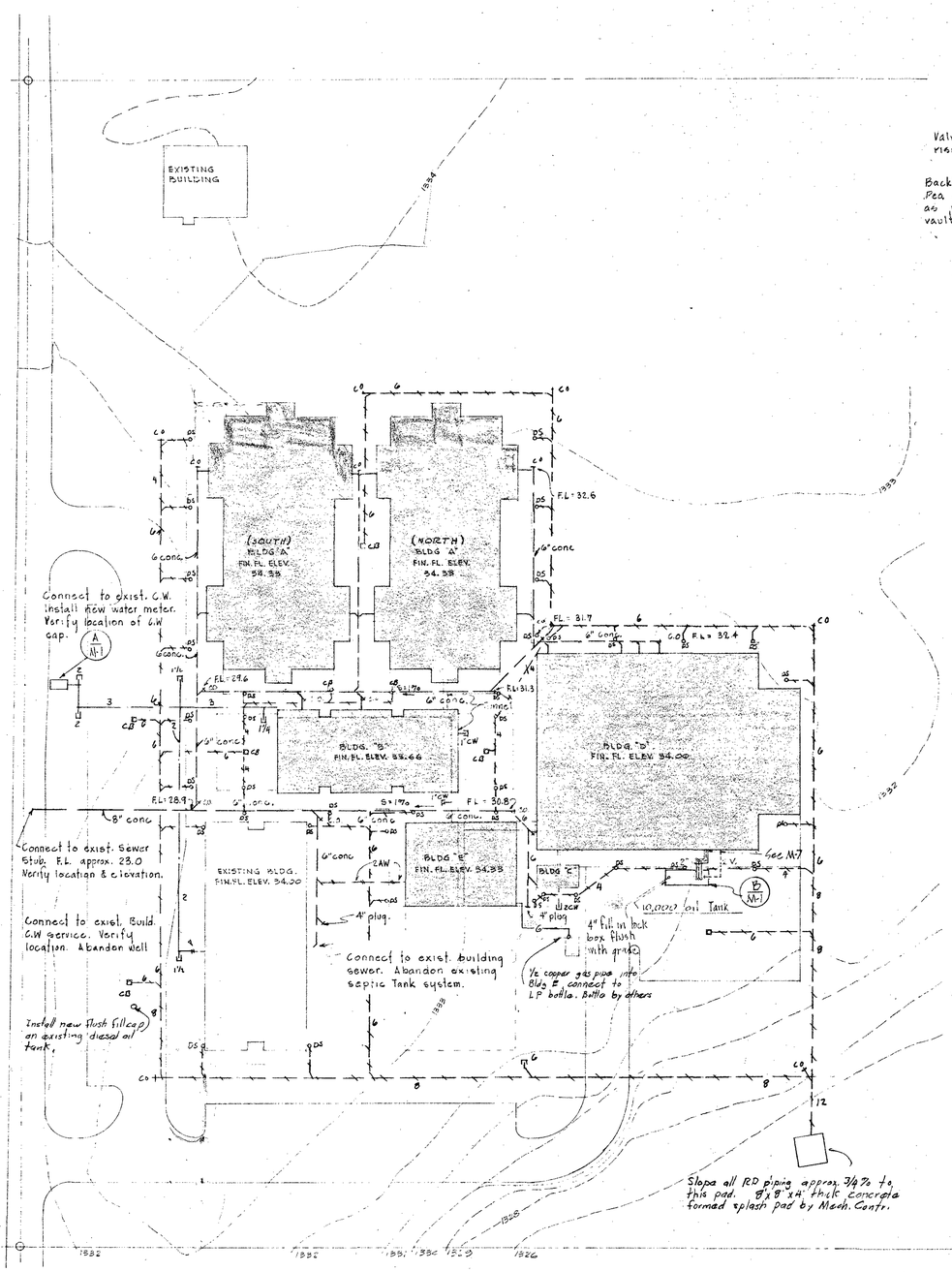
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

E 5
OF 5



SITE PLAN

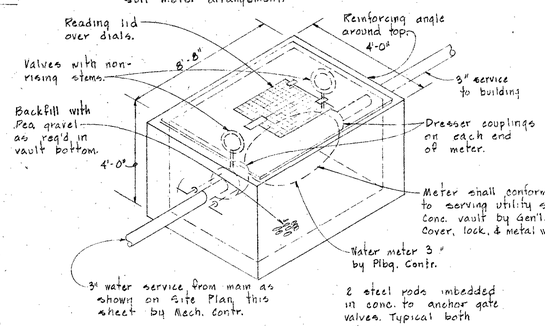
1" = 40'-0"

NORTH

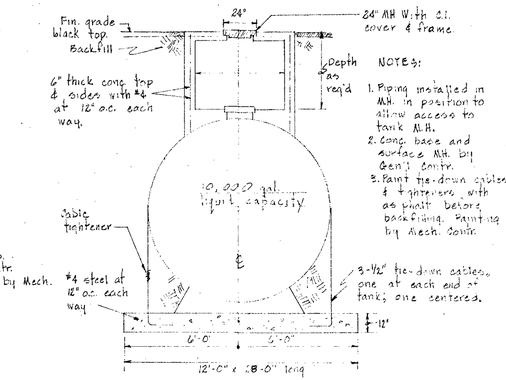
GENERAL NOTES (SITE PLAN)

1. All waste pipe outside of building lines to be sloped at 1% minimum unless otherwise noted.
2. Provide 0.05 ft. drop through all sanitary sewer MH's.
3. See "AREA FOUNDATION PLANS" for waste and roof drain piping continuation.
4. Plumbing Contractor shall backfill with pea gravel all pipe trenches over excavated or above original grade.
5. For piping in tunnels, refer to individual Building Foundation Plans.

Note: Vault shall have 8" concrete walls with #4 rebars 12" o.c. each way. Provide 3/8" checked steel cover to set flush with finish grade. 24"x24" hinged access door with locking provision shall be located to suit meter arrangement.



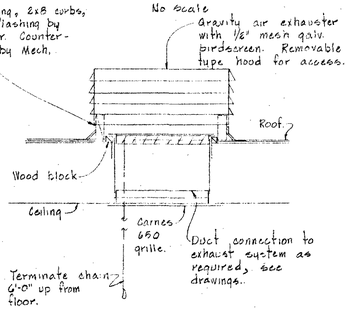
WATER METER VAULT DETAIL (A / M-1)



NOTES:
1. Piping installed in M.H. in position to allow access to tank M.H.
2. Conc. base and surface M.H. by Gen'l. Contr.
3. Paint tie-down cables & turnbuckles, with as primit before backfilling. Painting by Mech. Contr.

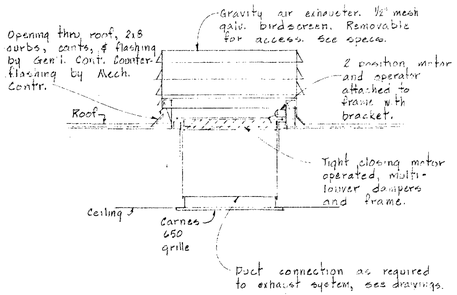
OIL TANK ANCHOR DETAIL (B / M-1)

No Scale



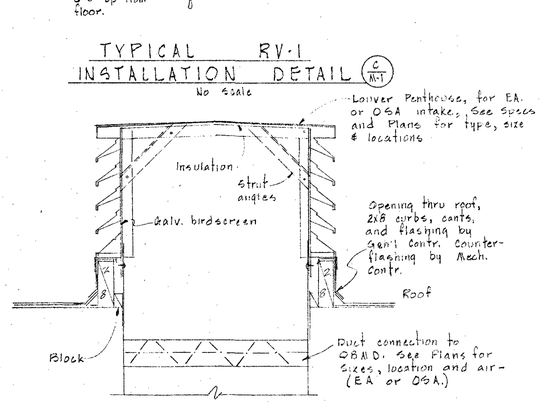
TYPICAL RV-1 INSTALLATION DETAIL (C / M-1)

No Scale



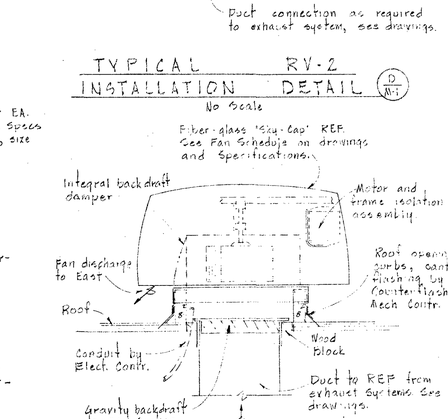
TYPICAL RV-2 INSTALLATION DETAIL (D / M-1)

No Scale



TYPICAL RV-3 INSTALLATION DETAIL (E / M-1)

No Scale



TYPICAL REF INSTALLATION DETAIL (F / M-1)

No Scale

GENERAL NOTES

1. Multi-zone, fan unit, and ventilating unit rooms shall be made air tight and used for air mixing plenums. See Architectural structural details.
2. All concrete work by General Contractor unless noted otherwise.
3. See Architectural plans for finish grade elevations of site and Buildings. Also refer to site Preparation Plans for grading and fill work.
4. Verify exact location and placement of all outside air and exhaust air louver openings with Architect before installations.
5. Entire domestic water supply piping system shall be disinfected as approved by State Plumbing Authorities, prior to use.
6. All MZ unit individual zones read as shown on drawing at unit discharge section.
7. Mech Contr. shall supply all control bds in Boiler & Mech. Rooms for mounting of control devices.
8. See Archt'l Floor Plans of Penthouses and Mech. Room Curbs & for access locations. Install equipt piping & ducts to obtain clear passage around access.

SYMBOLS

- (100) Room Number
- (1 / M-1) Detail or Section Number
- Mechanical Sheet Number
- CW Cold Water Pipe
- HW Hot Water Pipe
- HWR Hot Water Recirculating Pipe
- W Waste Pipe
- V Vent Pipe
- Pipe Up
- Pipe Down
- RD Roof Drain Pipe
- HS Heating Water Supply
- HR Heating Water Return
- O Oil Pipe
- CO Plumbing Cleanout
- S = 1% Slope or Pitch
- A Concrete Pipe Anchor
- Pipe Pitched Down
- Pipe Anchor
- RV Relief Valve
- Strainer, Union Adjusting Cock
- Valves; Gate, Globe & Check
- Automatic Valve
- Pressure Guage
- WH Wall Hydrant
- HB Hose Bibb
- DV Drain Valve
- AAV Automatic Air Vent Valve
- MH Manhole
- VTR Vent Thru Roof
- CI Cast Iron
- FD Floor Drain
- FHC Fire Hose Cabinet
- 20x6 Grille Size; Width & Depth
- 300 Air Volume in Cubic Feet per Min.
- Room or Zone Thermostat
- REF Roof Exhaust Fan
- RV Roof Ventilator
- AD Automatic Damper
- ZBD Zone Balancing Damper
- Wall Supply Grille
- Wall Return or Exhaust Grille
- Ceiling Supply Grille
- Ceiling Return or Exhaust Grille
- Supply Duct Up
- Supply Duct Down
- Return Duct Up
- Return Duct Down
- Sound Attenuated Duct
- Canvas Duct Connection
- Splitter Damper in Duct
- ZMD Zone Mixing Damper
- OBMD Opposed Blade Mixing Damper
- FU Fan Unit
- CFU Cabinet Fan Unit

SYMBOLS CONT:

- Round diffuser
- 140 140°F Hot water
- Acid waste
- A Compressed Air
- Sound attenuated duct line drawing
- Sheet metal duct line drawing
- ODS Down Spout Mech connect & extend RD pipe 4"
- CB Catch Basin Mech connect & extend RD pipe
- 1 1/2 Pipe capped for future, Size

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SITE PLAN & DETAILS

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M-1

SOUTHERN OREGON STATIONERY

HEATING AND VENTILATING SCHEDULE

UNIT	UNIT USE & LOCATION	UNIT CFM	MAXIMUM FAN Q.V. FPM	FAN WHEEL TYPE	EXT. * STATIC PRESSURE	MOTOR HP †	VOLTS-PHASE	HEATING COIL ENTERING AIR	HEATING COIL LEAVING AIR	UNIT CONTROL	UNIT ACCESSORIES	REMARKS	MANUFACTURER & MODEL NUMBER.
MZ-1	Bldg. B	5,050	1200	FC	5/8"	5	208 V. 3 ph.	55°	130°	T.S.-1	Vee Filter Mixing Box	Space For Future cooling coil. See Dwg. for arrangm't.	Pace B-14
MZ-2	Bldg. A south	11,300	1650	FC	5/8"	10	208 V. 3φ	55°	130°	T.S.-2	Vee Filter Mixing Box	Space for future cooling coil. See Dwg. for arrang't.	Pace B-19
MZ-3	Bldg. A north	11,300	1650	FC	5/8"	10	208 V. 3φ	55°	130°	T.S-3	Vee Filter Mixing Box	Space for future cooling coil. See Dwg. for arrang't.	Pace B-19
HV-1	Bldg. D M.P.	9,750	1600	FC	1/2"	5	208 V. 3φ	55°	130°	T.S.-4	Vee Filter Mixing Box		Pace A-24 V
HV-2	Bldg. D Cafet.	2,800	1640	FC	1/2"	1	208 V. 3φ	55°	130°	T.S.-5	Flat Filter		Pace B-9
HV-3	Bldg. D Girls PE	1,680	1600	FC	1/2"	1/2	208 V. 3φ	70°	130°	T.S.-6	Flat Filter		Pace B-8
HV-4	Bldg. D Boys PE	2,100	1600	FC	1/2"	3/4	208 V. 3φ	70°	130°	T.S.-7	Flat Filter		Pace A-11
HV-5	Bldg. D Kitch.	2,100	1600	FC	1/2"	3/4	208 V 3φ	10°	130°	T.S.-8	Flat Filter		Pace A-11
HV-6	Bldg. E	3340	1600	FC	1/2"	1	208 V. 3φ	See Duct Coil Schedule		T.S.-9	Vee Filter	Outside air damper set 15% min. Provide space for future cooling	Pace A-14
CFU-1	Bldg. A south	11,300	1650	BI	5/8"	5	208 V. 3φ	—	—	T.S.-2			Pace B-19 BI
CFU-2	Bldg. A north	11,300	1650	BI	5/8"	5	208 V. 3φ	—	—	T.S.-3			Pace B-19 BI
FU-1	Bldg. B	5050	700	Centrifug. Airfoil	1/2"	2	208 V. 3φ	—	—	T.S.-1	Class 1 Belt guard	Arrangm't. 9 27" min. wheel dia.	Aladdin N-Line size 270
REF-1	Bldg. B genl. exhst.	580	1600	FC	1/4"	1/4	120 V. 1φ	—	—	T.S-1			Pace CRE-8
REF-2 REF-3	Bldg. A south	160	1000	FC	1/4"	1/6	120 V. 1φ	—	—	T.S.-2			Pace CRE-6
REF-4 REF-5	Bldg. A north	160	1000	FC	1/4"	1/6	120 V. 1φ	—	—	T.S.-3			Pace CRE-6
REF-6	Bldg. D girls PE	1700	1625	FC	1/4"	1/2	208 V. 3φ	—	—	T.S.-6			Pace CRE-13
REF-7	Bldg. D boys PE	2,260	1500	FC	1/4"	1/2	208 V. 3φ	—	—	T.S.-7			Pace CRE-16
REF-8	Bldg. D range hoods	2,200	1650	BI	3/8"	1/2	208 V. 3φ	—	—	ON-OFF sw. / pilot light		Heavy ga. galv. steel weather cover	Pace CRE-15 B
REF-9	Bldg. D dishwr. exht.	580	1600	FC	1/4"	1/3	120 V. 1φ	—	—	ON-OFF sw. with pilot light			Pace CRE-8
REF-10	Bldg. D Kitch. exhst.	490	1600	FC	1/4"	1/4	120 V. 1φ	—	—	T.S.-8			Pace CRE-6
REF-11, 12, 13, 14	Bldg. A south	290	1200	FC	1/4"	1/4	120 V. 1φ	—	—	T.S.-2			Pace CRE-6
REF-15, 16, 17, 18	Bldg. A north	290	1200	FC	1/4"	1/4	120 V. 1φ	—	—	T.S-3			Pace CRE-6
REF-19	Bldg. E Scients exhst	1625	1600	FC	1/4"	1/2	208 V. 3φ	—	—	ON-OFF sw. with pilot light			Pace CRE-13
REF-20	Bldg. C toilets	160	1000	FC	1/4"	1/6	120 V. 1φ	—	—	T.S.-9			Pace CRE-6
REF-21	Bldg. C toilets	160	1000	FC	1/4"	1/6	120 V. 1φ	—	—	T.S.-9			Pace CRE-6
REF 22	Bldg. D attic space	2500	1600	FC	1/4"	1/2	208 V. 3φ	—	—	Room therm. set 80°.			Pace CRE-16

* External static pressure includes filters, dampers & duct system; excludes unit & coil static pressure drops.

† Motor horsepowers shown are minimum.

PUMP SCHEDULE

PUMP NUMBER	USE AND LOCATION	CAPACITY GPM	HEAD FEET	PUMP RPM	MOTOR VOLTS-PHASE	MOTOR HP	PUMP TYPE	MANUFACTURER & MODEL NUMBER	REMARKS
P-1	Main heat boiler room.	160	85	1750	208V 3φ	7½	Base Mounted	Bell & Gossett 1510 2" BB -9½ trim	Type 1, see Specs.
P-2	Main heat boiler room.	"	"	"	"	"	"	"	Type 1, see Specs.
P-3	Domestic water boiler room.	80	8	"	120V 1φ	1/4	Pipe Manted Booster	Bell & Gossett LD-3	Type 2, see specs.
P-4	Hot water recirc. boiler room.	10	20	"	120V 1φ	1/6	Pipe Mounted Booster	Bell & Gossett 1" HV	Type 2, see Specs.

MZ-1 ZONE AIR VOLUME MIXING & BALANCING DAMPER SIZE.

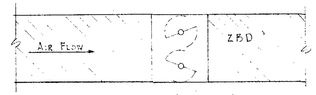
ZONE NUMBER	AIR VOLUME CFM	MIXING DAMPER SIZE	BALANCING DAMPER SIZE
1	500	7 x 24	9 x 12
2	350	6 x 24	12 x 8
3	695	10 x 24	10 x 16
4	2320	32 x 24	32 x 4
5	390	6 x 24	6 x 18
6	790	12 x 24	24 x 10

DUCT COIL SCHEDULE

COIL NUMBER	COIL SIZE	CFM	TEMP RISE
DC-1	10 x 6	270	45°-130°
DC-2	8 x 8	195	45°-130°
DC-3	20 x 12	1250	45°-130°
DC-4	20 x 16	1625	45°-130°

MZ-2 & MZ-3 ZONE AIR VOLUME MIXING & BALANCING DAMPER SIZE.

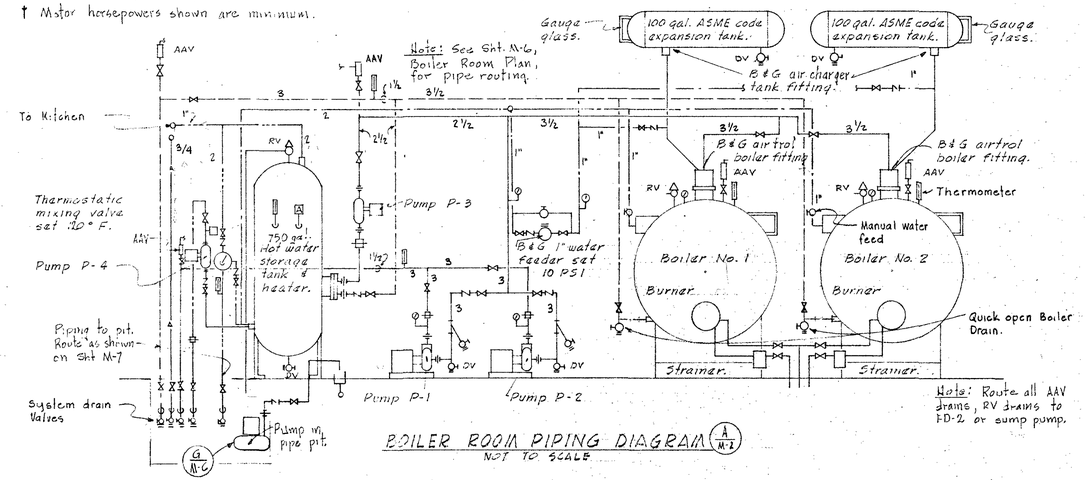
ZONE NUMBER	AIR VOLUME CFM	MIXING DAMPER SIZE	BALANCING DAMPER SIZE
1	1280	9 x 32	32 x 10
2	1280	9 x 32	9 x 28
3	1280	9 x 32	9 x 20
4	1280	9 x 32	9 x 24
5	1280	9 x 32	9 x 22
6	1280	9 x 32	9 x 28
7	1280	9 x 32	9 x 22
8	240	4 x 32	6 x 12
9	385	4 x 32	6 x 15
10	425	4 x 32	6 x 16
11	1280	9 x 32	32 x 10



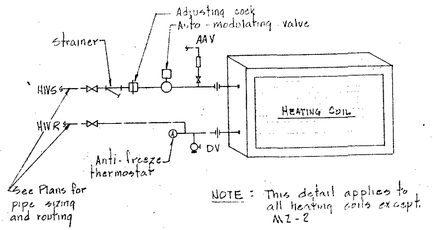
Locking damper quadrant on bottom of each damper blade shaft for zone air volume adjustment. Quadrant indicator installed in accessible position and shall show damper in "OPEN" position.

This detail typical for damper unit in each zone for all MZ units. See Plans for locations.

TYPICAL AIR VOLUME ZBD DETAIL (E M-2)

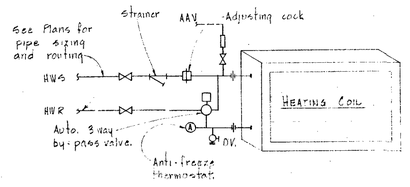


BOILER ROOM PIPING DIAGRAM (A M-2)
NOT TO SCALE



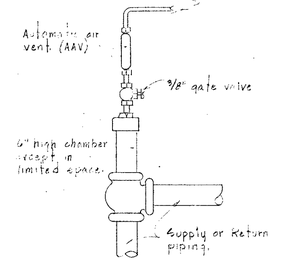
NOTE: This detail applies to all heating coils except MZ-2

MODULATING HEATING COIL PIPING DIAGRAM (B M-2)
No Scale



Note: This detail applies to MZ-2

BY-PASS HEATING COIL PIPING DIAGRAM (C M-2)
No Scale



TYPICAL AAV VALVE INSTALLATION DETAIL (D M-2)
No Scale

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SCHEDULES

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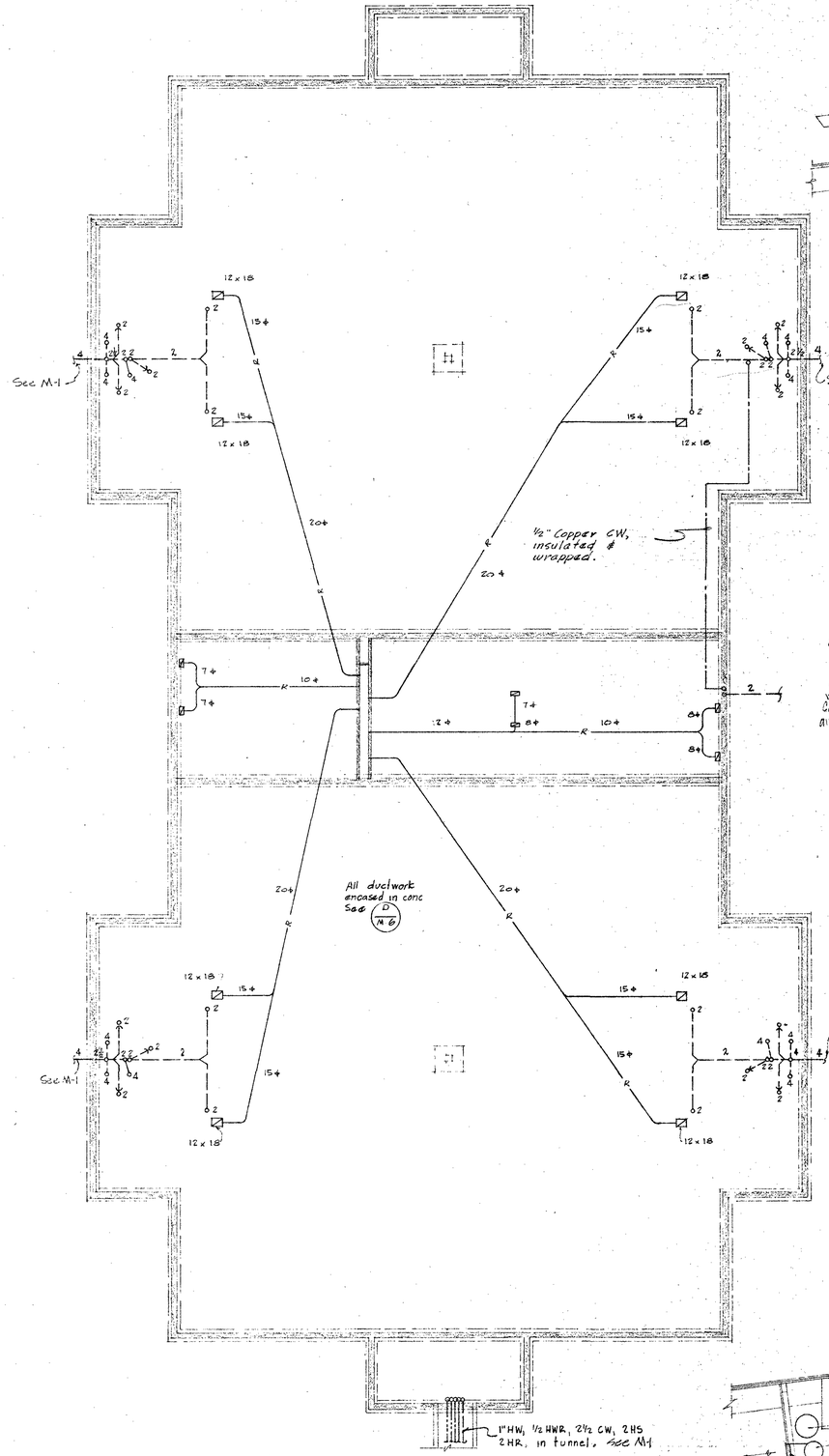
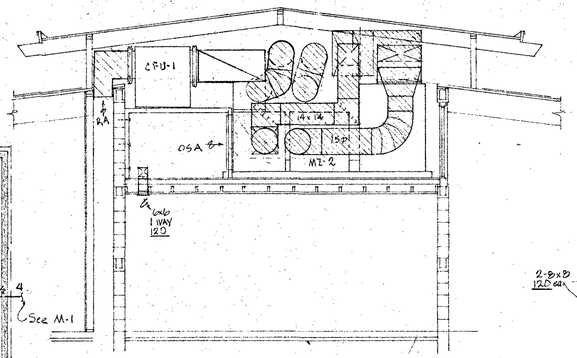
M-2

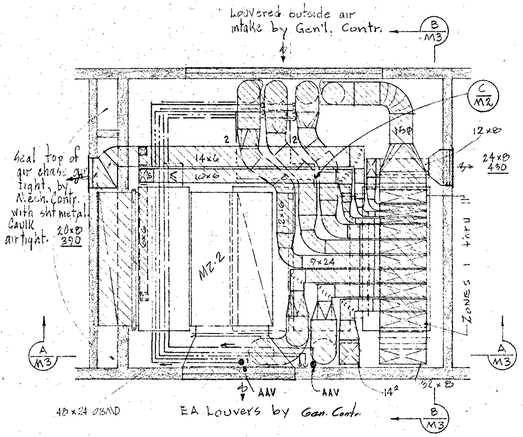
SOUTHERN OREGON STATIONERY



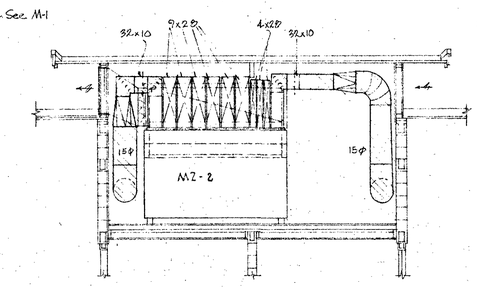
BLDG. A - SOUTH FOUNDATION PLAN
1/8" = 1'-0"



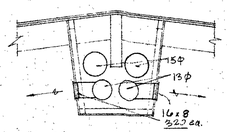
SECTION - A M3
1/4" = 1'-0"



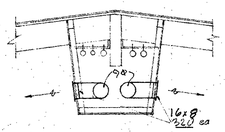
MECHANICAL ROOM PLAN
1/4" = 1'-0"



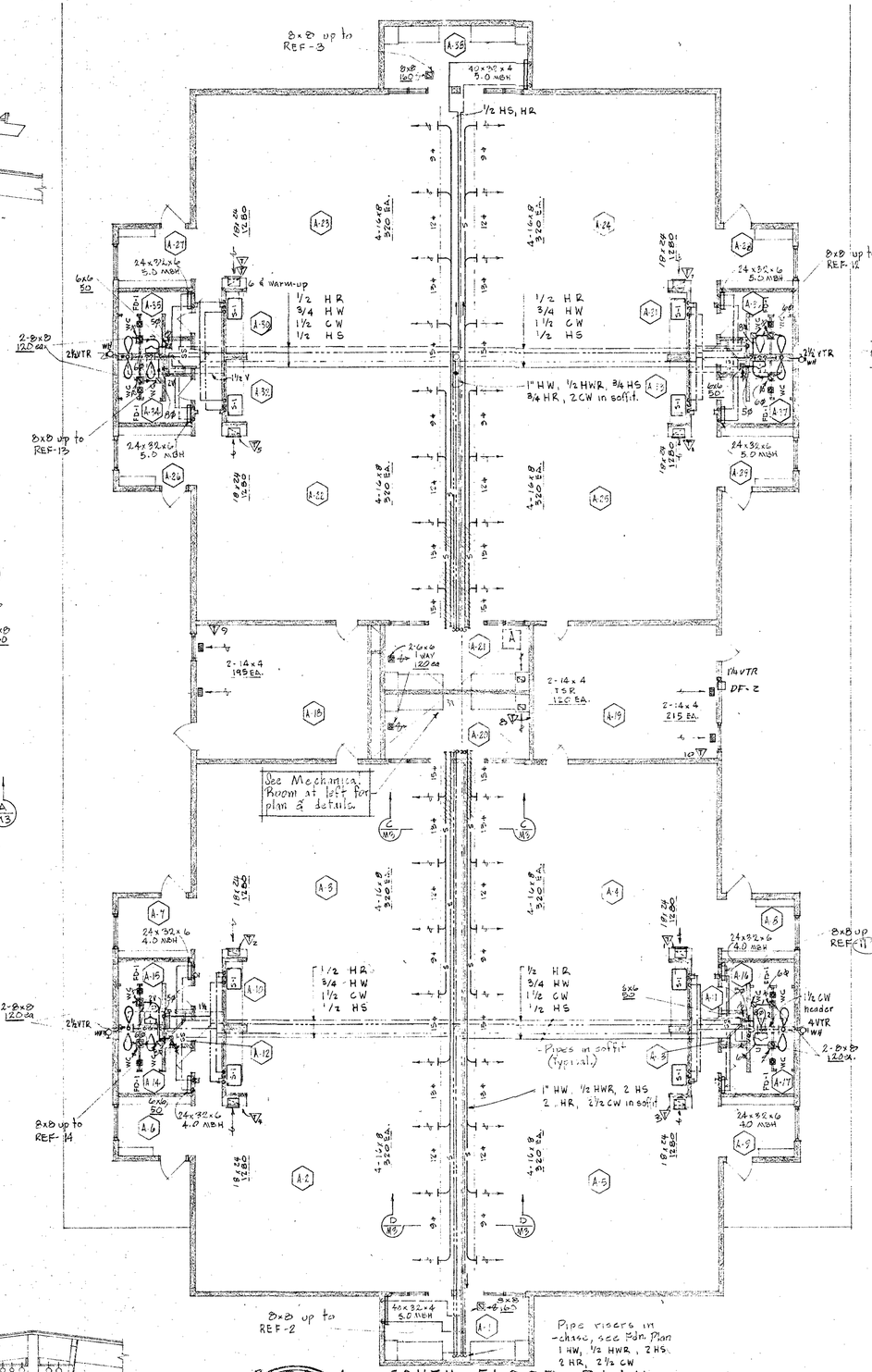
SECTION - B M3
1/4" = 1'-0"



SECTION - C M3
1/4" = 1'-0"



SECTION - D M3
1/4" = 1'-0"



A - SOUTH FLOOR PLAN

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M-3

SOUTHERN OREGON STATIONERY

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GOLDY BUILDING - MEDFORD, OREGON

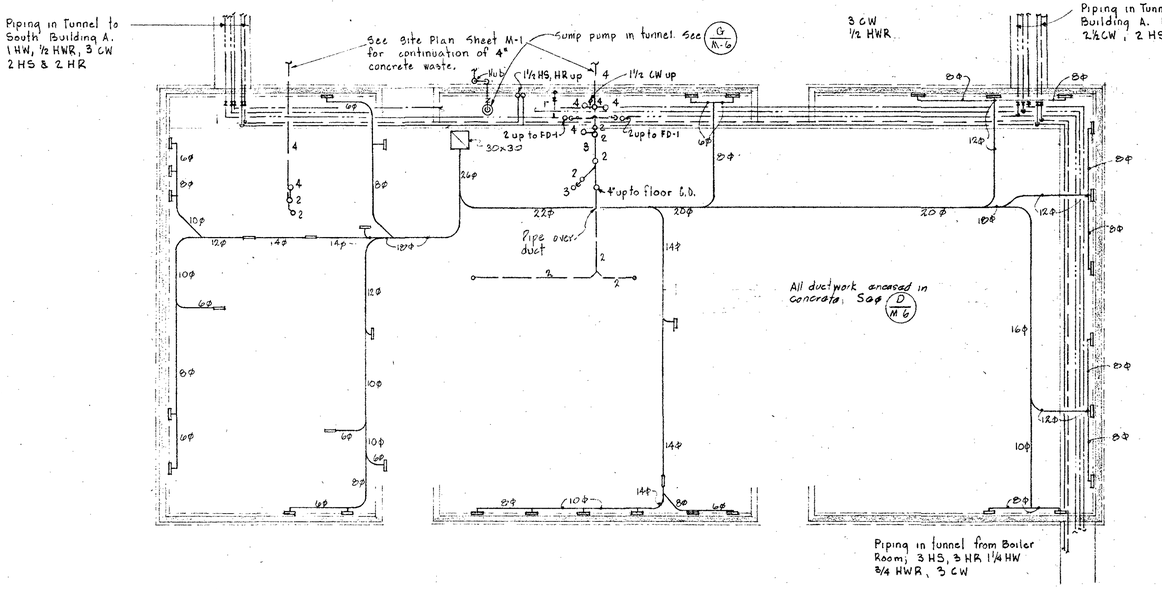
BLDG. A (NORTH) PLUMBING & HEATING

EVERGREEN SCHOOL
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

D.D.	JACK A EDSON AIA
R.F.M.	ARCHITECTURE & PLANNING
6512	128 EAST MAIN STREET MEDFORD, OREGON

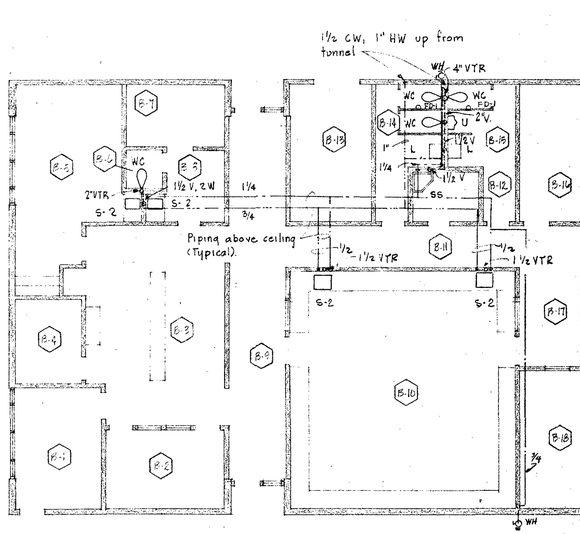
M-4

SOUTHERN OREGON STATIONERY



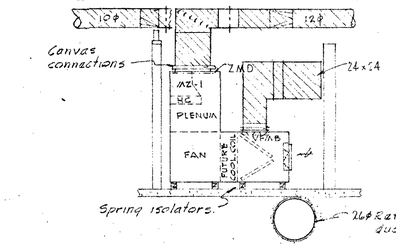
BLDG B FOUNDATION PLAN

1/8" = 1'-0"



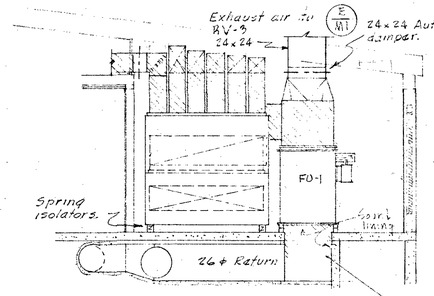
BLDG. B PLUMBING FLOOR PLAN

1/8" = 1'-0"



SECTION - A/M5

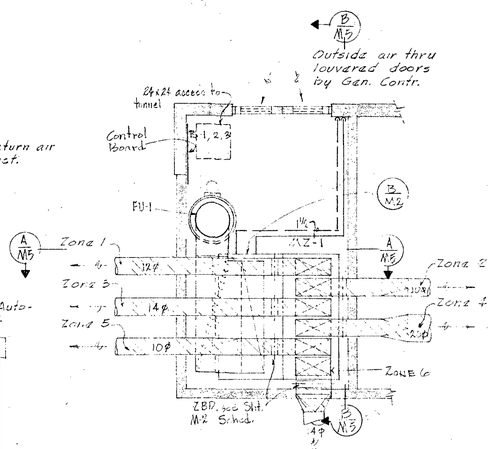
SCALE: ¼" = 1'-0"



SECTION - B/M5

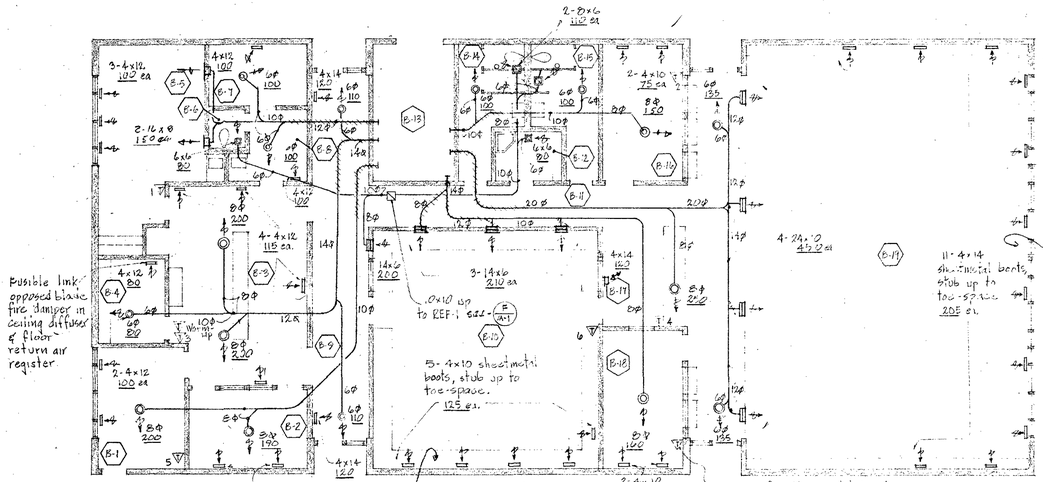
SCALE: ¼" = 1'-0"

30x30 return duct encased in conc.



MECHANICAL PLAN - RM. B-13

SCALE: ¼" = 1'-0"



BLDG. B HEATING & VENTILATING FLOOR PLAN

1/8" = 1'-0"

MARQUESS & MARQUESS
CONSULTING ENGINEERS
GOLDY BUILDING - MEDFORD, OREGON

BLDG. "B" PLUMBING & HEATING

EVERGREEN SCHOOL

JOSEPHINE COUNTY UNIT SCHOOL DISTRICT OREGON

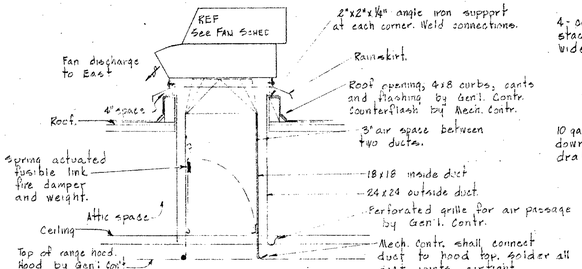
D.D.

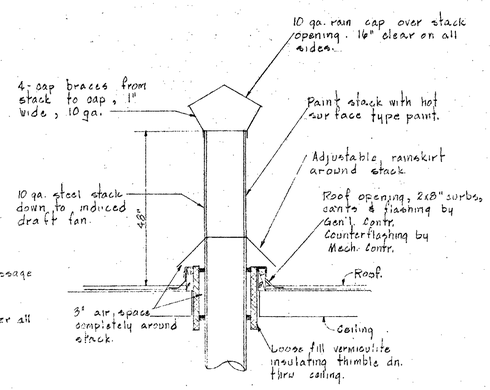
R.F.M.

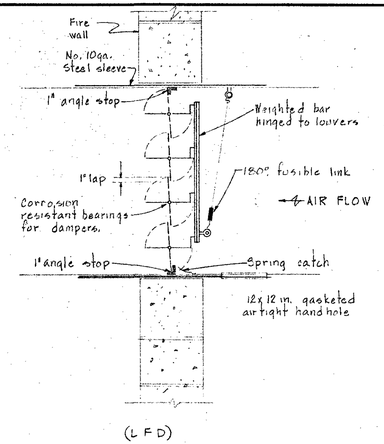
6512

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

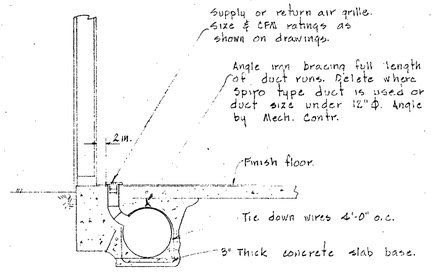
M-5



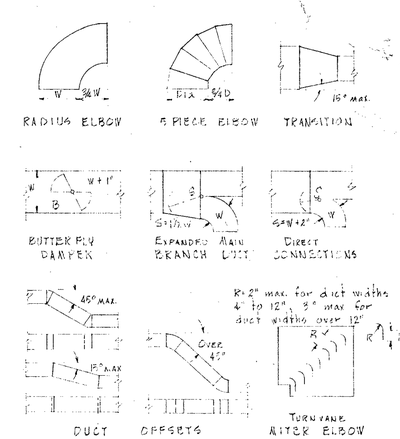




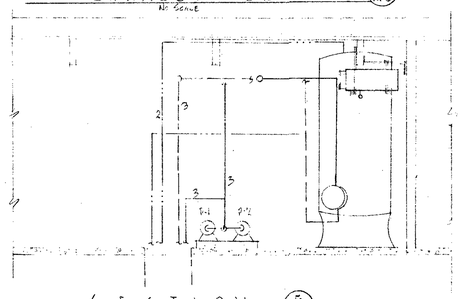
(L F D)



NOTE:
Slab base poured with tie down wires for duct anchorage. Duct spaced in 2" minimum concrete. All concrete work done by Genl Contr. Mech. Contr shall be responsible for; duct, boot and register alignment while concrete is poured and set. Three ducts or more routed side by side shall be minimum 6" apart.

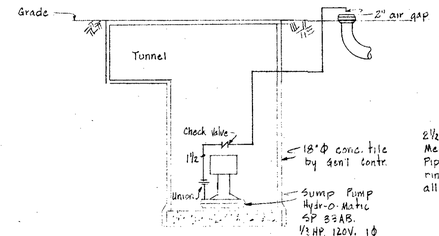


TYPICAL RANGE HOOD EXHAUST DETAIL (A M-6)
No Scale



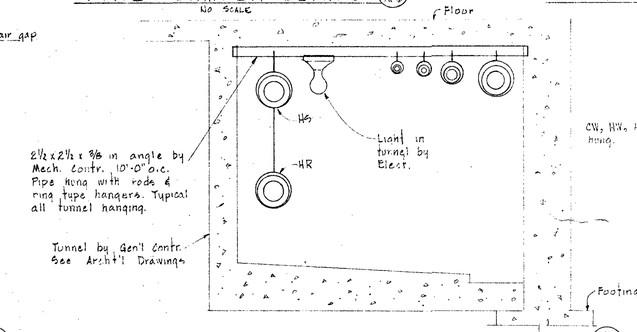
SECTION (P M-6)
1/4" = 1'-0"

TYPICAL BOILER STEEL STACK DETAIL (B M-6)
No Scale



SUMP PUMP DETAIL (G M-6)
No Scale.

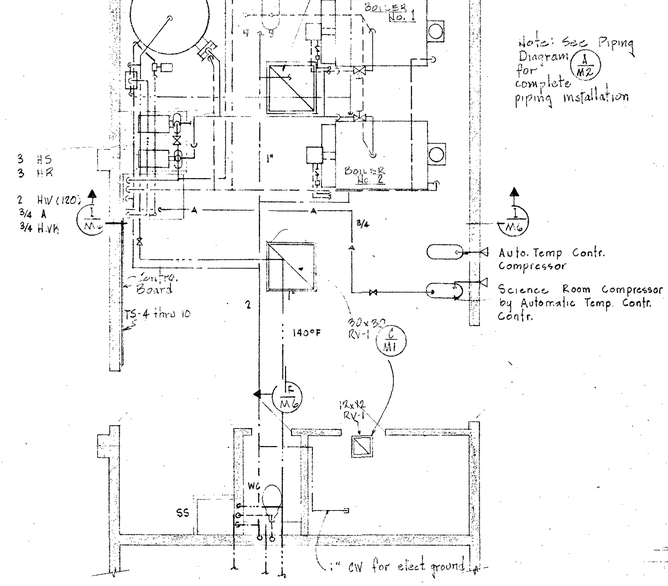
TYPICAL LOUVERED FIRE DAMPER DETAIL (C M-6)
No Scale



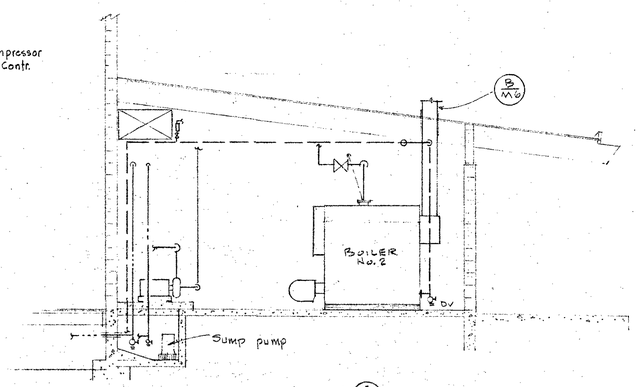
TYPICAL TUNNEL SECTION (H M-6)
1" = 1'-0"

UNDERFLOOR DUCT INSTALLATION DETAIL (D M-6)
No Scale

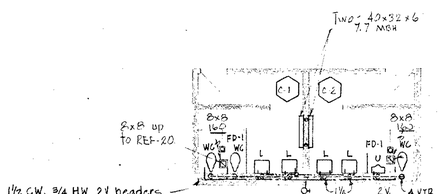
TYPICAL DUCT CONSTRUCTION DETAILS (E M-6)
No Scale



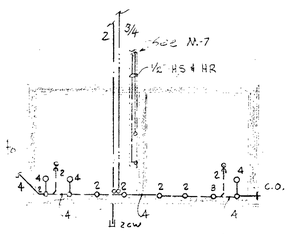
BOILER ROOM PLAN
1/4" = 1'-0"



SECTION (I M-2)
1/4" = 1'-0"



BUILDING "C" FLOOR PLAN
1/8" = 1'-0"



BUILDING "C" FOUNDATION PLAN
1/8" = 1'-0"

REGISTERED PROFESSIONAL ENGINEER 5153 OREGON JULY 9, 1965 THEODORE W. RONEY

MARQUESS & MARQUESS
CONSULTING ENGINEERS
GOLDY BUILDING - MEDFORD, OREGON

RECEIVED OCT 12 1966 JACK A. EDSON Architect

BLDG. "C" PLUMBING & HEATING & BOILER RM.
EVERGREEN SCHOOL
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

D.D.	
R.E.M.	
6512	

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

M-6

660' PROPERTY LINE

1300' PROPERTY LINE

1300' PROPERTY LINE

EXISTING GRAVEL-SURFACED PLAY YARD

EXIST. ASPH. CONCRETE PAD

FUTURE CLASSROOMS

FUTURE CLASSROOMS

FUTURE COVERED WALK

EXISTING FRAME & SHEET-METAL BLDG. TO BE REMOVED UNDER THIS CONTRACT

NEW MULTI-PURPOSE & BOILER ROOM ADDITION

NEW COVERED CORRIDOR

EXISTING CLASSROOMS & CAFETERIA

PARKING

REMOVE EXIST'G TREES

APPROX. LOCATION BUS GARAGE

APPROX LOCATION OF EXIST'G FUEL TANK

PUMP IN FLAGPOLE BASE (EXIST'G)

FUTURE BUS LOADING

660' PROPERTY LINE

RIVER ROAD

N

SITE PLAN

SCALE: 1" = 40'-0"

3" ø DOWNSPOUT

4" x 3" 24 ga. G.I. BOX GUTTER - SEE DETAIL 10/A-5

3" ø DOWNSPOUT

SLOPE

SLOPE

SLOPE

UPPER ROOF

BILT-UP ROOF W/ MINERAL SURFACED CAP SHEET: FIBERGLAS SPEC.# 315-W - "CHINA WHITE"

GRAVEL STOP TYPE METAL EDGE

GRAVEL STOP TYPE METAL EDGE

3" ø DOWNSPOUT TO LOWER ROOF

4" x 3" 24 ga G.I. BOX GUTTER

3" ø DOWNSPOUT TO LOWER ROOF

12" x 18" SPLASHPAN

12" x 18" SPLASHPAN

BILT-UP ROOF W/ MINERAL-SURFACED CAP SHEET: FIBERGLAS SPEC.# 315-W - "CHINA WHITE"

GRAVEL STOP TYPE METAL EDGE

SLOPE

LOWER ROOF

SLOPE

2½" OUTLET TO STEEL DOWNSPOUT SEE DETAIL 10/A-5

METAL EDGE

3" OUTLET TO DOWNSPOUT

EXISTING CLASSROOM BUILDING

ROOF PLAN

SCALE: ⅛" = 1'-0"

N

GRANTS PASS

HIGHWAY 199

N

APPROX. ¾ MI.

EVERGREEN SCHOOL

CAVE JUNCTION

RIVER ROAD

CRESCENT CITY

LOCATION PLAN NO SCALE

3/4

SITE PLAN - ROOF PLAN

MULTI-PURPOSE ROOM: FOR EVERGREEN SCHOOL

FOR THE JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, GRANTS PASS, OREGON.

R.S.B.

4/18/63

EDSON & PAPPAS ARCHITECTS

MEDFORD, OREGON

DRAWING A-1

FINISH SCHEDULE

SPACE	FLOOR Material	FLOOR Finish	BASE	WALLS Material	WALLS Finish	CEILING Material	CEILING Finish	REMARKS
Multi-Purpose Room	4" Conc. Slab	Trowel Smooth & Apply Hardener	4" Topset Black Vinyl	Exposed Blocks	2 Coats Latex Paint	1/2" Gyp. Bd. on Soffit	Tape & 2 Coats Latex Paint	No Finish on Hardboard Below Windows -
				1/2" Gypsum Board	Tape & 2 Coats Latex Paint	1/2" Acoustical Tile	None	Paint all Doors & Trim with 3 Coats of Semi-Gloss Enamel
Boiler & Storage Rm.	4" Conc. Slab	Trowel Smooth & Apply Hardener	None	Exposed Block	None	2 Layers 5/8" Gyp. Board	Tape & 1 Coat Latex Paint	
Covered Corridors	4" Conc. Slab	Light Broom Finish	None	Exposed Block	2 Coats Latex Paint	3x6 T&G Decking	2 Coats Stain	Paint all New Wood Trim & Doors - 3 Coats Ext. Trim Paint
				1x4 Cedar	2 Coats Stain	Glu-Lam Beams	2 Coats Trim Paint	Pipe Cols & Saddles, Dnspts & Steel Doors - 3 Coats Mtl. Paint

FOUNDATION PLAN - FLOOR PLAN - SECTIONS - ELEVATIONS

MULTI-PURPOSE ROOM - FOR EVERGREEN SCHOOL

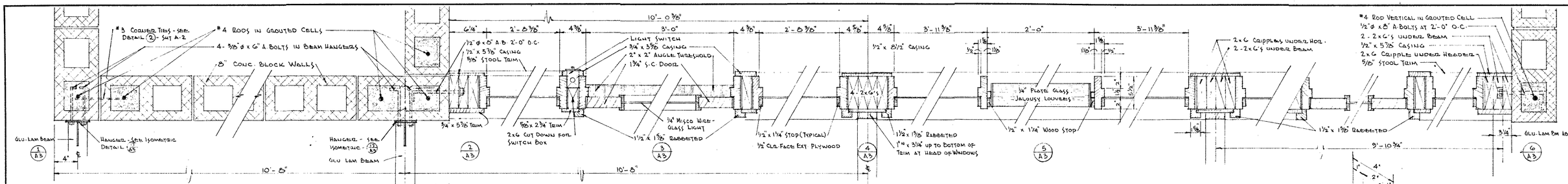
FOR THE JOSEPHINE COUNTY UNIT SCHOOL DISTRICT - GRANTS PASS, OREGON

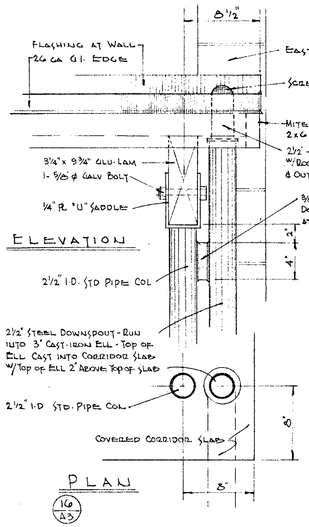
R.S.B

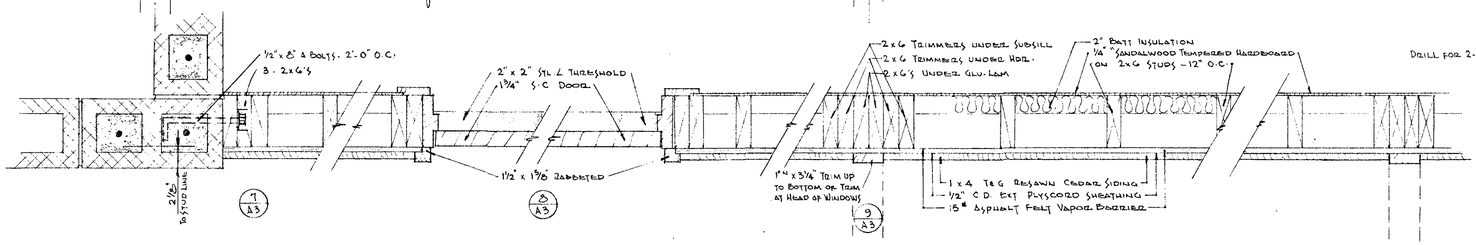
4/18/63

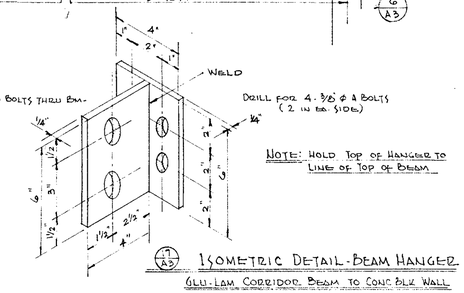
EDSON & PAPPAS
ARCHITECTS
MEDFORD, OREGON

DRAWING A2



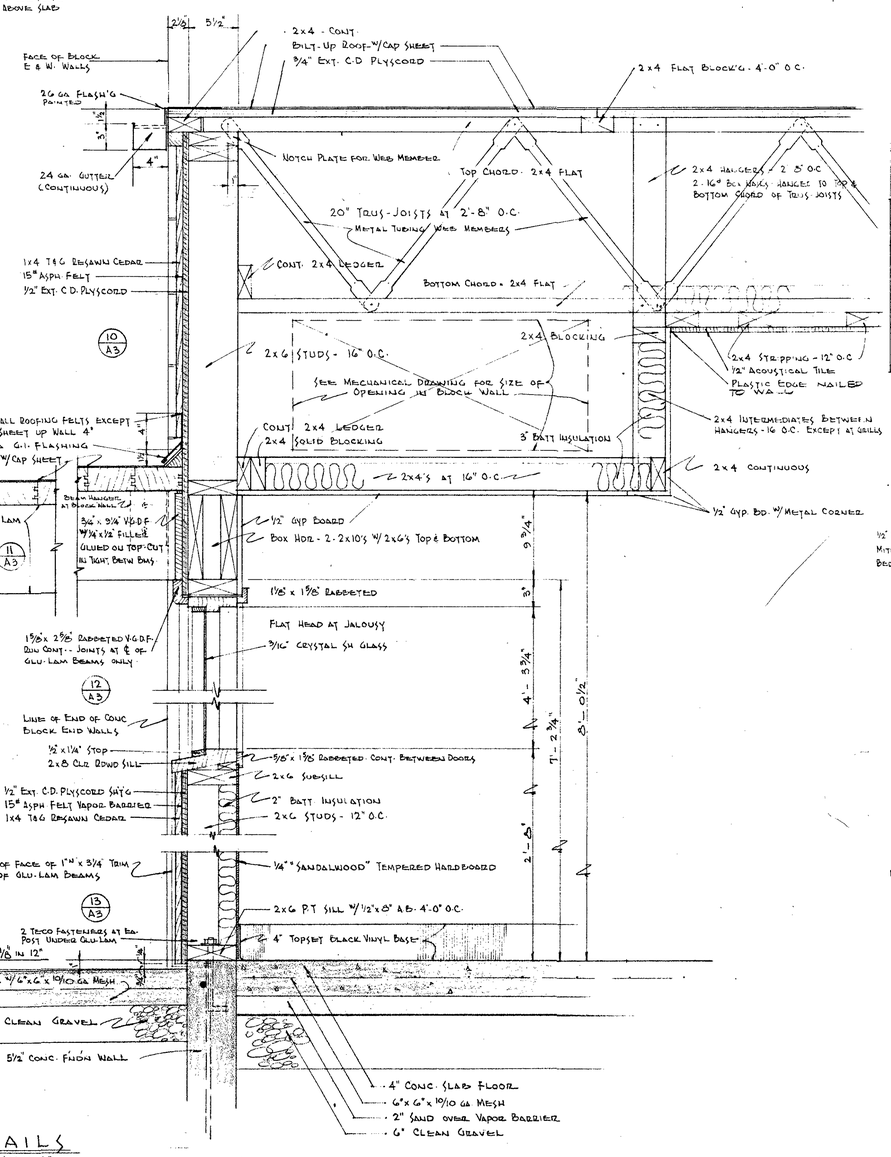






ISOMETRIC DETAIL - BEAM HANGER

GLU-LAM CORRIDOR BEAM TO CONC BLK WALL

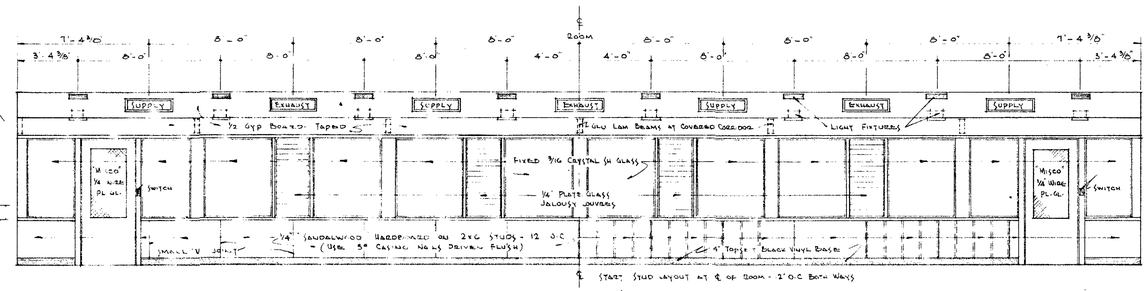


SILL AT DOOR (A)

DOOR (B) & (C) SIM.

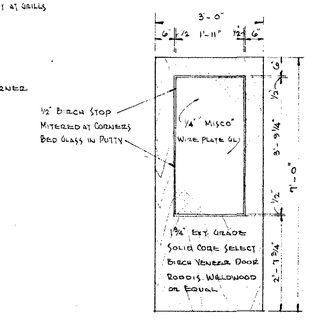
DETAILS

SCALE: 1 1/2" = 1'-0"



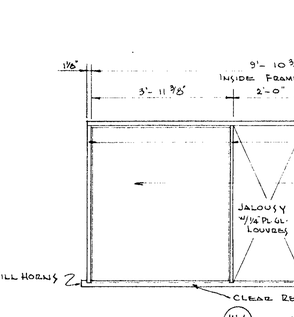
INTERIOR ELEV. SOUTH WALL

SCALE: 1/4" = 1'-0"

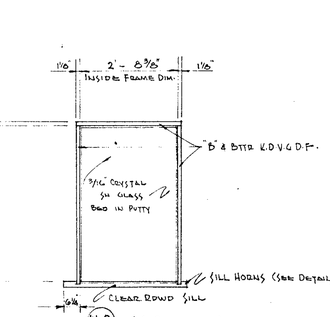


DOOR (A)

(2 REQUIRED)



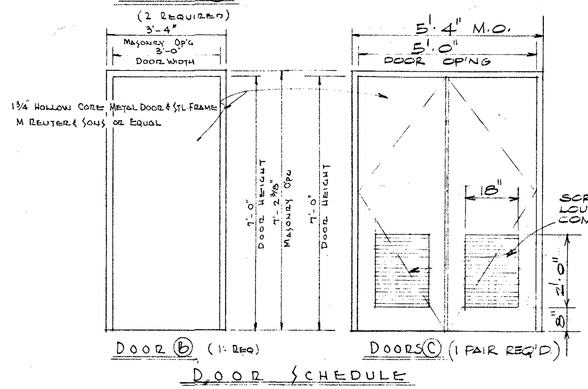
(W-1) (4 REQUIRED)



(W-2) (4 REQUIRED)

WINDOW SCHEDULE

SCALE: 1/2" = 1'-0"



DOOR (B) (1 REQ)

DOORS (C) (1 PAIR REQ'D)

DOOR SCHEDULE

SCALE: 1/2" = 1'-0"

INT. ELEV - WINDOWS - DOORS - SECTIONS - DETAILS

MULTI-PURPOSE ROOM FOR EVERGREEN SCHOOL

FOR THE JOSEPHINE COUNTY - UNIT SCHOOL DISTRICT - GRANTS PASS, OREGON

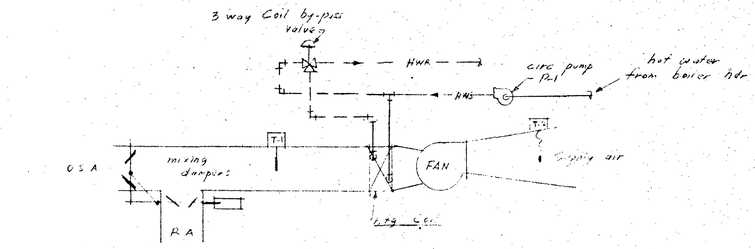
R.S.B.

4/18/63

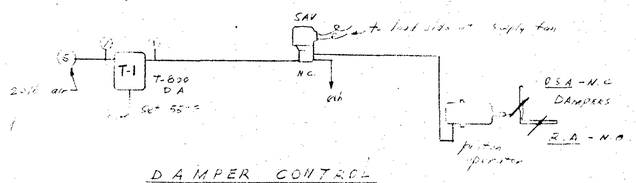
EDSON & PAPPAS ARCHITECTS

MEDFORD, OREGON

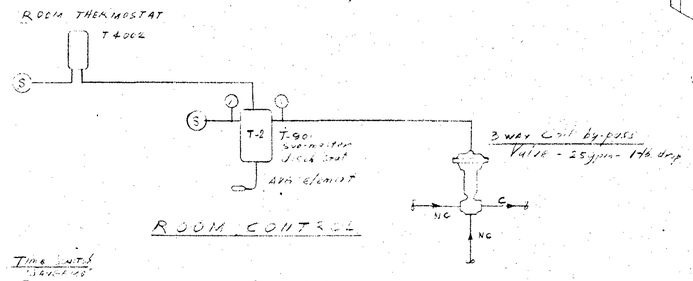
DRAWING A3



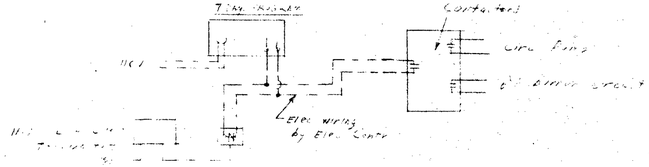
SYSTEM DIAGRAM



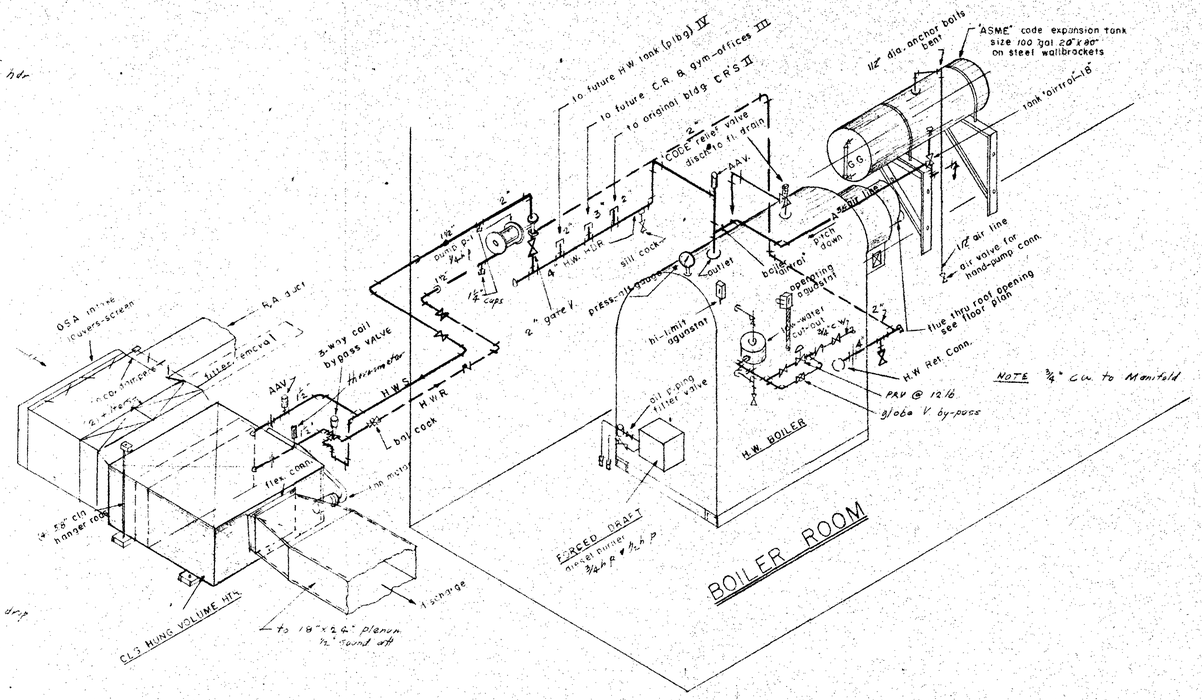
DAMPER CONTROL



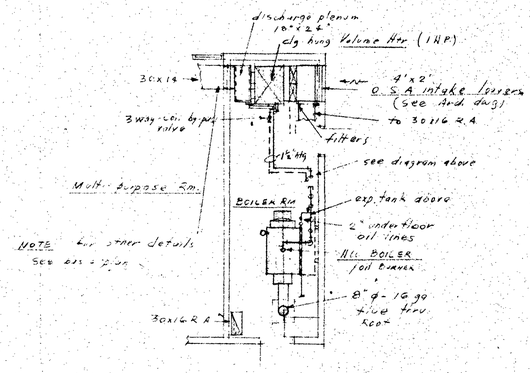
ROOM CONTROL



WIRING DIAGRAM



BOILER ROOM PIPING DIAGRAM no scale



PLAN OF BOILER RM. (SHOWN REVERSED)

1/8" = 1'-0"

	MECHANICAL ALTERNATE NO. 1	
	MULTI-PURPOSE ROOM ADDITION, EVERGREEN SCHOOL FOR THE JOSEPHINE COUNTY UNIT SCHOOL DIST. GRANTS PASS, ORE.	
HVE	EDSON & PAPPAS ARCHITECTS	DRAWING
4/18/63	MEDFORD, OREGON	


FLOOR PLAN 1/8" = 1'-0"
MULTI-PURPOSE ROOM
COVERED CORRIDOR & PLAY AREA
EXIST BLDG.
SECTION AT DUCT UNDER FLOOR 1/2" = 1'-0"
SECTION AT SOFFIT 1/2" = 1'-0"
FLUE ROOF HOOD NO SCALE
SECTION AT MECH RM PARTITION 1/2" = 1'-0"
ISOMETRIC VIEW OF FURNACE
MANUAL FAN CONTROL
DAMPER CONTROLS
ALTERNATE #1 - SEE MOTOR CONNECTIONS AND WIRING - ALSO SEE MECH. ALTERNATE #1 FOR CONTROL WIRING
MOTOR CONNECTIONS IN MECH. RM - ALTERNATE #1
KEEP 1 1/4"C ALONG SIDE OF DECK. PAINT SAME COLOR IN EXISTING BUILDING. USE ATTIC IN NEW BUILDING USE AREA ABOVE THE CEILING.
NOTE: ADD 2 POLE 60AMP FUSED DISCONNECT AT MAIN PANEL FOR THIS FEEDER.
ELECTRICAL SYMBOLS
SINGLE POLE & THREE WAY QUIET TYPE WALL SWITCHES, IVORY 20AMP 125V G.E. BRYANT PAULDING CIRCLE F MOUNT AT 48" SS. COVER
RECEPTACLE DUPLEX 3WIRE GROUNDING TYPE 15AMP 125V IVORY COLOR & STEEL COVER MOUNT AT +12"
INCANDESCENT CEILING FIXTURE, SURFACE
RECESSED INCANDESCENT CEILING FIXTURE
FLUORESCENT SURFACE FIXTURE
WALL OR BRACKET FIXTURE MOUNT AT 6'-6"
ELECTRICAL CONNECTION TO EQUIPMENT NOTED.
FIRE ALARM CALL STATION EDWARDS OR EQUAL
SYNCHRONOUS 12" CLOCK WITH BUZZER SIMPLEX, STANDARD OR M-H.
TIME SWITCH
ELECTRICAL PANEL 100A 20CCT 1-2P-20A 14-1P-20A 4 SPARE SPACES
WALL OR CEILING WIRING
UNDER FLOOR WIRING
FLOOR PLAN 1/8" = 1'-0"
ELECTRICAL
EXITING GRAVEL SURFACE PLAY YARD
EXIST ASPH CONCRETE PAD
FUTURE CLASSROOMS
NEW MULTI PURPOSE & BOILER RM ADDITION
NEW COVERED CORRIDOR
EXISTING CLASSROOMS
CAF'T'RIA
PARKING
FUTURE BUS LOADING
SITE PLAN 1" = 40'-0"
MECHANICAL - ELECTRICAL FLOOR PLAN & DETAILS
MULTI-PURPOSE ROOM - BOILER ROOM ADDN TO EVERGREEN SCHOOL
FOR THE JOSEPHINE COUNTY UNIT SCHOOL DISTRICT - GRANTS PASS, OREGON
EDSON & PAPPAS ARCHITECTS MEDFORD, OREGON
4/18/63
DRAWING ME 1

SPECIFICATIONS

INSTRUCTIONS TO BIDDERS

Drawings and Specifications

Drawings and specifications for the project are available at the office of Edson and Pappas, Architects, 44 North Front Street, Medford, Oregon. A deposit of $25.00 will be required from the bidder, which deposit is a guarantee that the drawings and specifications will be returned in good condition not later than five (5) days after bids on the project have been opened. If the drawings and specifications are not returned, or are returned in a mutilated condition, the deposit is liable for forfeiture.

Bid Form and Opening Date

Bids shall be submitted on "Bid Forms" enclosed, addressed, sealed and delivered to the Office of the Superintendent of the Josephine County Unit School District, Courthouse Annex, Grants Pass, Oregon

All blank spaces on form shall be filled in and all amounts shall be in words as well as numerals. The signatures shall be in long hand and executed by a person duly authorized to make contracts. The bidders name shall be fully stated. The completed form shall be without interlineation, alteration or erasure.

Oral, telephone or telegraphic proposals or modifications of proposals will not be considered.

Bids will be received until Pacific Standard Time, and will then be publicly opened and read aloud.

Bid Bond

Each bid shall be accompanied by a certified check, cashier's check or a bid bond (with authorized surety company as surety) made payable to Owner in amount not less than 5% of the amount of the Base Bid.

Performance Bond

The bidder shall include in his bid the price of a 100% Faithful Performance Bond. This bond shall be through a surety company approved by the State of Oregon.

Insurance

The Contractor shall furnish any pay for all insurances, as described in the Supplementary General Conditions for the protection of the Owner and for the protection of himself against any and all claims for damages to person or property which may arise out of operations under this contract by himself, his subcontractors, or by anyone directly employed by either of them. Fire insurance will be maintained by the Owner payable to the Owner or the Contractor as their interests shall appear.

Prequalification

Attention is called to the bidders prequalification requirement of Sections 279.012 to 279.024, inc., O.R.S., which must be filed with the Clerk of the School Board 10 days before date of opening of bids and for which forms may be obtained from the Architect's office.

Acceptance or Rejection of Bids

The Owner reserves the right to reject any or all bids and to waive any informalities.

GENERAL CONDITIONS

The General Conditions of the Contract for the Construction of Buildings, A.I.A. Document No. A-201, although not bound herein, shall be considered a part of the Contract Documents. This document is available upon request to the Architect.

SUPPLEMENTARY GENERAL CONDITIONS

General

The Supplementary General Conditions are a part of the Contract Documents the same as the General Conditions. Like the General Conditions, they shall be deemed to be a part of the trade sections of the specifications the same as if fully repeated in each section.

Standard of Workmanship

General Standard of workmanship shall be of high quality, executed by craftsmen skilled in their respective trades.

Specification Trade Sections

The specifications are separated into trade sections for reference convenience only. Such separation shall not imply limits of responsibility between subcontractors nor shall it make the Architect an arbiter relative to subcontract limits between Contractor and subcontractors.

Cooperation

The Contractor and the subcontractors shall exercise every effort to establish a spirit of cooperation on the project. The Contractor shall provide openings and chases, furr or build out, etc., for the work of the various subcontractors.

Work by any subcontractor placed over the work of the Contractor or any other subcontractor shall imply acceptance of that surface as fulfilling the full intent of the specifications and the latter shall be responsible for any of his work placed over faulty surfaces.

Report defects in work surfaces to the Architect in writing so that faulty work may be corrected prior to application of further work.

Examination of Site and Conditions

All bidders are required to visit the site of the work and to thoroughly inform themselves as to existent physical conditions. They shall also inform themselves as to conditions bearing upon transportation, disposal, storage of materials, availability of water, electric power and labor.

Any failure of a bidder to fully acquaint himself with both site and local conditions shall not relieve him from the responsibility for estimating properly the cost of successfully performing the work.

Labor

The Contractor and each subcontractor shall adhere to all Federal and State of Oregon laws concerning working hours and conditions of labor and shall carry all insurances required by such laws.

The Contractor and subcontractors shall employ only competent and experienced personnel, qualified in their trade such that all work will be executed in a neat and workmanlike manner, to the satisfaction of the Architect.

Materials Specified

The specified makes, brands, kinds and/or trademarked materials as called for on the plans or in the specifications are to be considered as standards; therefore, materials of equal quality and workmanship are not intended to be excluded.

Whenever "Approved Equal" occurs, it shall mean that no substitute materials or equipment shall be ordered or installed by the Contractor or any subcontractor unless written approval is secured from the Architect.

When a request is made for approval of substitute materials or equipment, samples and technical information shall be submitted for the Architect's consideration. Requests for use of substitute materials shall be made in writing a minimum 3 days prior to bid opening date.

J. K. GILL CO. 1000M FASBOUT 7760 — MEDFORD STATIONERY

Grades, Lines and Levels

All grade lines, levels and bench marks shall be established and maintained by the General Contractor, who shall be responsible for same.

The Contractor shall verify all elevations as shown on the drawings and he shall report any errors or inconsistencies concerning same to the Architect before commencing the work.

Guarantee Bond

A 100% faithful performance bond will be required and shall guarantee the faithful performance of the Contract and shall insure the Owner during the life of the Contract, and for a term of one (1) year from date of the acceptance of the work against faulty or improper materials or workmanship that may be discovered during that time. This bond shall be with surety acceptable to the Owner.

Liability and Property Damage Insurance

The Contractor shall, throughout the life of this contract, maintain liability insurance as described in Art. 27, the minimum amount of $50,000 for any one person and $100,000 for any one accident.

The policy shall be written to protect the Owner, the Architect and any one of their respective agents, and shall be placed with Surety acceptable to the Owner.

In addition to the liability insurance, the Contractor shall maintain throughout the life of this contract, property damage insurance in a minimum amount of $10,000 miscellaneous property damage insurance with a $25,000 aggregate.

The Contractor shall provide the Owner with a certificate of insurance from approved surety showing coverage under a General Comprehensive Liability Policy.

Work shall not be commenced until required insurance has been obtained and approved by Owner.

If directed by Owner to do so, the Contractor shall furnish copies of insurance policies required as well as a receipt evidencing full premium payment.

Time of Commencement and Completion

The work shall be commenced within 10 days after written notice to proceed is given the Contractor by the Owner, Although liquidated damages for late completion of the project are not included as a part of the Contract Documents, it is the desire of the Owner to have the building project completed and ready for occupancy by the beginning of Anticipated times for completion as requested might be considered by the Owner in the award of the Contract

Payments to the Contractor

The Contractor shall agree that the minimum hourly wage rates paid will not be less than the prevailing wage rates currently established, in compliance with Chapter 627, Oregon Laws 1959.

The School District shall receive, and so receipt, the Contractor's and subcontractors' statements certifying the wage rates paid for each job classification and further certifying that none of these are less than the minimum prevailing wage, prior to any disbursement by the School District of monies in payment for work performed on the project.

On or before the 10th day of each month a sum equal to 90% of the amount of labor and materials wrought into the construction or of the value of materials suitably stored at the site during the preceding month shall be paid the Contractor upon issuance of the Architect's Certificate for Payment.

Thirty-one days after completion and final acceptance of the project the final payment, including the 10% retention shall be due and payable the Contractor by the Owner. The Owner reserves the right, however, to exercise his option regarding complete release of lien voucher or lien bond as covered under "Article 32 - Liens" of the General Conditions.

Award of Contract

The selection of the successful bidder will be made within approximately 10 days after the opening of bids. Actual acceptance of the bid by the Owner and signing of the Contract may be at any time within thirty (30) days after opening of bids. Competency and responsibility of bidders and of their proposed subcontractors shall be considered in making the award. The Owner does not obligate himself to accept the lowest or any other bid.

Permit

The Contractor and/or subcontractors shall procure all necessary permits, pay for same and shall obtain all official licenses for the construction of the work.

Copies Furnished

The Architect will supply the Contractor with 6 copies of the plans and specifications without charge. Other copies, if requested by the Contractor, will be provided at cost of reproduction.

Manufacturers Specifications or Directions

Where the specifications require that work be done or material applied or installed in accordance with manufacturer's directions or specifications, submit duplicate copies of such directions to the Architect.

Fire Protection

Provide facilities as required to adequately protect the building from the hazard of fire during construction. Allow no open fires in close proximity to building.

Keeping Premises Clean

Do not allow debris or construction waste to accumulate beyond reasonable limits in or about the building project. It is the full intent of these specifications that the work be accomplished in a neat and orderly manner. Dispose of debris regularly as it accumulates by removing from the site.

Bracing

Make all provisions for adequately bracing the various structures against damage from wind during the process of construction.

Cleaning

In addition to general "broom" cleaning the following cleaning of surfaces and equipment shall be done: Remove all putty, dirt, paint, etc., from all glass and thoroughly wash both sides; clean all hardware of dirt, paint or other blemishes; clean all tile work and fixtures of all types of dirt, paint, grease, etc., and wash thoroughly with soap and water; remove floor covering protection and thoroughly clean and polish all floors. Wash dirt, grease, etc., from painted surfaces.

Guarantees

Unless otherwise stipulated, the General Contractor shall provide the Owner at the completion and acceptance of the project with a letter of guarantee stating that the work will be free from defects for a period of one year and that if such defects do occur, he will correct the work and any resultant damage to other work to the Owner's satisfaction without further payment.

Temporary Utilities

All requirements for temporary electrical power, water and heat shall be obtained by connecting to existing utilities as required. The cost of the services will be paid by the Owner although the Contractor shall use the services prudently, without waste.

TRADE SECTIONS

General

The General Contractor and his respective subcontractors shall furnish all plant, labor, material, equipment and tools necessary to complete the project in accordance with the drawings and specifications.

Excavation Filling and Grading

Excavations and backfilling for various subcontract trades shall be done by these trades.

All foundation footings and column piers shall rest on firm undisturbed soil having a minimum bearing resistance of 2000 PSF.

Backfill all excavations and smoothly contour finish grades such that surface water will not run against the building.

Excavations shall be deep enough to allow a 6" compacted approved gravel fill and 2" sand fill under all interior concrete slabs. Provide .040 mil "Vis-Queen" or equal vapor barrier under all new interior slabs where shown on drawings.

Concrete Work

Approved ready-mix concrete delivered in a continuous mix conveyor conforming to ASTM C94.

1. Strength: 2000 psi, 28 day compressive strength for all footings and foundation walls. 2500 psi, 28 day compressive strength for slabs on grade, suspended slabs and beams.

2. Slump: Footings, foundation walls 4½", slabs on grade and suspended slabs and beams 2½".

Reinforcement: All foundation walls shall be reinforced as noted. All slabs shall be reinforced with wire mesh as noted. Bars: New intermediate grade deformed bars, ASTM A-305. Welded wire mesh, cold drawn wire, ASTM A-185.

Interior Slabs on Grade: 4" min. thickness, Monolithic steel trowel finish unless otherwise directed. Slope to drains 1/8"/foot. Where required hardener shall be West Concrete Floor Treatment (Distributor: Ernie Gregg, 811 South "C" Street, Eagle Point, Oregon).

Exterior Slabs on Grade: 4" min. thickness. Broom finish, slope 1/8"/foot for drainage, (Minimum).

Masonry

Concrete Masonry Units: Approved expanded shale or pumice units, 8" high x 16" long x thickness shown, two cell, conforming to ASTM C-90. Special units provided as required.

Horizontal Wall Reinforcement: Dur-O-Wal, K-Web or approved equal, spaced 24" o.c. max. Lap 6" min.

Vertical Wall Reinforcement: #4 deformed bars lapping dowels 12" min. spaced 4' - 0" o.c. max., two bars each side of all openings and at all corners.

Bond and Lintel Beams: Provide continuous bond beam on top of walls. Reinforce beams as shown on drawings.

Mortar: One part Portland Cement, one part lime putty or hydrated lime and not over five parts mason sand.

Core Fill: Fill all reinforced cells with concrete (1 part Portland Cement, 2½ parts clean sand, 2 parts pea gravel and sufficient water to provide a 6 to 8 inch slump).

Cleaning: Remove all dirt, stain, etc. and leave a clean unblemished surface.

Miscellaneous Iron and Steel

Provide pipe columns, rain drains, beam hangers and/or saddles as indicated and required.

Provide miscellaneous bolts, clips, anchor bolts, angle thresholds and shapes as required to adequately complete the work.

Shop paint all miscellaneous iron and steel items prior to delivery to job site.

Carpentry and Millwork

General: This Contractor shall carefully check all grades, lines and dimensions of all walls, columns and floors, and shall report any discrepancies to the Architect.

He shall do all his work in accordance with the drawings and figured dimensions and shall exercise care in executing the work to prove true plumb and level.

He shall be responsible for any damage which may arise to the Owner or any other contractor due to his work being incomplete or inaccurate.

He shall be careful in framing his work to provide proper requirements for other trades with respect to location and sizes of vents, ducts, pipes or other items, and he shall cooperate in conformity with the work of all other trades.

Framing Material - Rough Carpentry

1. General: Framing lumber shall comply with grading standards of West Coast Lumber Inspection Bureau, rule #15. All materials shall be Douglas Fir of sizes indicated, S4S.

2. Sills, plates and ledgers on concrete masonry units: Standard per. 122c and 123c, treated with approved wood preservative.

3. Studs, plates and miscellaneous framing: Standard, par. 122c and 123c.

4. Girders, Beams, Stringers, Joists and Headers: Construction, par. 122b and 123b.

5. Roof Sheathing:

   a. Plywood: 1/2" thick Plyscord with exterior glue. D.F.P.A.

   b. Wood Deck: 3" x 6" incense cedar double T & G, small beveled edge for Vee groove. Factory drilled for special 8" annular spikes which are furnished with deck material. Grade in accordance with W.C.L.I.B. rules par. 427b "Select Dec". Provide special steel splines at end joints or end match lumber.

6. Truss Joists: Roof trusses shall be 20" Trus-joists, cambered as noted with 2 x 4 top and bottom chords and tubular metal web members, as distributed by Western Wood Component's Company of Portland, Oregon.

7. Glu-Lams: Glued-Laminated beams shall be Architectural Appearance Grade, Combination 11, glued up with exterior glue throughout. Factory white prime coat. No camber.

Rough Carpentry Construction

1. General: Erect all framing and other wood construction in a strong, substantial and workmanlike manner.

2. Temporary Protection: Provide temporary protection as required from weather and accident where damage may occur to persons or property.

3. Studding: Stud walls to be laid out true to line, square and plumb, studs 16" o.c. unless otherwise indicated. Studs and blocking shall be placed to provide adequate nailing for surface materials. Double at all openings, triple at corners and intersections. Provide wall partitions with double top plates, single floor plate, horizontal nailers, bracing and blocking, doubled headers all securely nailed. Arrange plates to form continuous horizontal ties, splice single plates, stagger ends of double plates. Splice plates abutting at corners.

4. Exterior Wall Sheathing: Shall be applied to the stud wall framing using 1/2" plywood panels 48" x 96", continuous over two or more spans, grain of face ply horizontal across studs, nailed down with #6d cement coated nails, edge spacing one nail per stud at bottom and top edges 4" o.c. at vertical edges and 8" o.c. at each stud. Apply building paper barrier over all surfaces of wall sheathing 6" end laps, 2" horizontal laps, staple on at approximately 12" o.c. both ways.

5. Exterior Roof Sheathing: Plywood - Same as wall sheathing.

6. Exterior Roof Decking: 3" thick wood decking shall be laid at right angles to structural supports in accordance with drawings. Toe nail each piece. Provide a minimum distance of four feet between end joints in adjacent courses. Joints in the same general line shall be separated by at least two intervening courses. Courses shall be spiked to each other with specified 8" annular spikes at not to exceed 30" intervals through predrilled edge holes and with one spike at a distance not to exceed 10" from each end of each piece.

7. Glu Lam: Glued-Laminated beams shall be Architectural Appearance Grade, Combination 11, glued up with exterior glue throughout. Factory white prime coat. No camber.

Rough Hardware: Provide all rough hardware noted and required for proper installation of Carpentry and Millwork. Furnish proper type, size and shape as required to hold members securely together, in place, or to other materials. All nails, bolts, and spikes for exterior work of every description shall be galvanized.

Millwork

All exterior millwork such as fascias, casings, trims, etc. shall be "C & Better", V. G. Finish Kiln dried Douglas Fir, par. 101c.

All window and door frames and interior millwork such as casings, stops, trim, etc., shall be "B & Better" V. G. Finish, kiln dried, Douglas Fir, par. 101b.

All wood doors shall be solid stave core, flush, unselect birch veneer, hot press phenolic resin glued. Roddis, Weldwood or approved equal.

Sheet Metal

All flashings, gutters, scuppers, etc. shall be a minimum 26 gauge galvanized steel or of sizes noted. Exposed edges shall be doubled back 1/2" to provide stiffness. Provide all necessary clips, fasteners, etc. as required.

Guarantee: The Sheet Metal Contractor shall guarantee that all sheet metal work will remain watertight and free from defects in material and workmanship for a period of two years from the date of completion and acceptance.

Roofing

Built-up Roofing shall be Owen Corning Fiberglas Corporation's products applied in strict accordance with their specification 315-WM "China White" mineral surface, Class C Rating. The Roofing Contractor shall furnish the Owner with a written guarantee insuring the roof free from defects for a period of two years from the date of completion and acceptance.

Gypsum Wallboard

Gypsum wallboard shall be 1/2" thick tapered edge, gypsum board installed in strict accordance with manufacturer's recommendations. Include taping of joints and three coat cementing job feathered out minimum of 6" each side of recessed edge joint and 12" each side of end butt joints to leave smooth, unblemished surface for painting. Provide metal edges for gypsum board where it abutts unlike surfaces and at all external angles.

Caulking

A. C. Horn Company's "Vulcatex" or equal applied around all openings in exterior walls for a complete watertight structure.

Glass and Glazing

Window Glazing: 3/16" thick "B" quality, heavy flat drawn sheet glass.

Door Lites: 1/4" thick, polished "Misco" wire glass.

Aluminum Jalousies: "Louvre King" or approved equal. Provide complete with all operating hardware and glazed with 1/4" plate glass.

Putty and Installation: Armstrong Company's Type M, knife grade. Elastic Glazing Compound in color to match stained wood stops. Glass shall be installed with horizontal draw. All wood stops at fixed windows secured with countersunk phillip's head brass screws spaced @ 12" o.c. (#12 x 1-1/4"). Final glass cleaning by General Contractor.

SPECIFICATIONS

MULTI-PURPOSE RM. FOR EVERGREEN SCHOOL
JOSEPHINE COUNTY SCHOOL DISTRICT

EDSON & PAPPAS
ARCHITECTS
MEDFORD, OREGON

4/18/63

DRAWING SP. 1

Insulation

Batt: 3" thick heavy Kraft faced with an Installed Resistance of 13.

Vinyl Base

Robbins "Vinyl Cove Base" set-on type or equal in standard thickness, 4" high. Color: Black.

Acoustic Tile

Acoustic Tile where indicated on Finish Schedule shall be 1/2" x 12" x 12" or 1/2" x 12" x 24" cross grooved fiber tile with tongue and groove edges applied by stapling or nailing to stripping at 12" o.c. Use Armstrong Cushiontone "Classic Pattern", Wood Conversion Company "LoTone" J-M "Stellar", Kaiser "Pin-punched" or approved equal. Install in strict accordance with manufactuer's recommendations with joints in straight lines and equal margins on opposite sides of room. Coordinate with Electrical Contractor such that light fixtures will center on tile or tile joints. Tile shall have Class "C" flame resistant finish.

Finish Hardware

Provide the sum of $520.00 for the purchase of finish hardware, including casework hardware. Installation shall be included under Carpentry by General Contractor.

Painting

General: Standards of practice, workmanship and application shall comply with the standards set forth by the Painting and Decorating Contractors of America.

Materials: Rodda and Fuller Paints and Olympic Stains are listed, equal products shall be submitted for approval.

Priming and Backpriming: Includes the following

1. Exterior Window and Door Frames
2. Exterior Wood Siding and all Exterior Wood Trim
3. Interior Wood

Schedule of Painting No. of coats listed unless otherwise indicated on drawings.

1. Concrete Masonry Units:
   a. Prime Coat: Rodda's #9025 masonry block filler applied with short bristled brush at the rate of 70-100 sq. ft./gallon.
   b. Finish Coat: Rodda's #910 "Krillicon" Exterior Flat Acrylic Masonry Paint.
2. Exterior and Interior Woodwork: Stain Finish, two coats Olympic Stain to give a lightly tinted natural wood finish.
3. Exterior Woodwork: Painted Enamel (Includes exterior doors)
   a. Prime Coat: Rodda's #155 Exterior Control Primer
   b. Body Coat: Rodda's #130 Exterior Trim Paint.
   c. Finish Coat: Rodda's 100% Pure Paint.
4. Interior Woodwork: Painted Enamel
   a. Prime Coat: Rodda's #395 Variseal Undercoat
   b. Body Coat: A mixture of 50 percent Rodda Paint Company's #395 Variseal Undercoat and 50 percent Rodda Paint Company's Woodwork and Dado semigloss enamel reduced as recommended by the manufacturer.
   c. Finish Coat: Rodda Paint Company's Woodwork and Dado semi-gloss enamel as it comes from the manufacturer.
5. Exterior and Interior Metalwork (Painted 3 coats)
   a. Prime Coat: Rodda's #3370 rust inhibitive iron oxide primer for ferrous work and #2913 zinc dust primer for galvanized work.
   b. Note: Delete prime coat from shop painted items.
   c. Body Coat: Rodda's #130 Exterior Trim Paint.
   d. Finish Coat: Rodda's #130 Exterior Trim Paint.
6. Interior Gypsum Wallboard: Two coats of Rodda's Lasyn Interior Latex wall paint.
7. All Other Surfaces: Not expressly mentioned in this schedule but not excepted from painting under the Schedule of Painting shall receive two coats of paint or varnish, as selected by the Architect.

Miscellaneous Specialties

Hollow Metal Doors and Frames: All doors scheduled hollow metal shall comply with the specification standards listed by the M. Reuter & Sons, Metal Products Company, Portland, Oregon. See drawings for number required and size.

SPECIFICATIONS

MULTI-PURPOSE RM. FOR EVERGREEN SCHOOL
JOSEPHINE COUNTY SCHOOL DISTRICT.

EDSON & PAPPAS
ARCHITECTS
MEDFORD, OREGON

4/18/63

DRAWING SP-2

SPECIFICATIONS

MECHANICAL SPECIFICATIONS

The Mechanical Specifications consist of the following trade sections:

Plumbing
Heating and Ventilation

GENERAL MECHANICAL

Codes and Ordinances

Work and materials installed in full accord with latest rules prescribed by local and/or state codes and/or ordinances including the "Uniform Building Code" and State Plumbing Codes, State and County Health Department ordinances, "National Board of Fire Underwriters" and the State of Oregon Industrial Accident Commission safety orders.

Electrical Work

General: Mechanical Contractor to furnish all controls for operation of automatic devices unless specifically designated otherwise.

The controls will be wired by the Electrical Contractor unless noted otherwise.

The Electrical Contractor will furnish safety disconnect switches at each motor and shall provide magnetic starters at all motors not so equipped. See temperature control specifications - Mechanical.

Motors furnished for equipment under the mechanical contract suitable for service intended, all in accordance with NEMA and AIEE standards. Motors provided with ball, sleeve, or roller bearings with dust-proof and leak-proof rings. Motors provided with a cast-iron or steel base with slide rail for adjustment.

See plans for electrical power.

Accessibility

The installation of valves, thermometers, gages, cleanouts, fittings or other indicating equipment or specialties, requiring frequent reading, adjustment, inspection, repair, removal or replacement shall be conveniently and accessibly located with reference to the finished building.

Concrete Work

Provide concrete work for equipment bases, pads, anchors, and details shown on the plans. Concrete work and reinforcing steel to comply with requirements indicated for general work.

Pipe Sleeves:

Provide steel pipe sleeves, Sch. 40 of required size and length where pipe passes through structural walls or footings. Provide sheet metal sleeves in all other walls, partitions and floors.

Noise and Vibration

Elimination of noise and vibration in equipment and connections shall be accomplished by the use of flexible joints, expension loops, air chambers, vibration isolators and the like. Architect to determine whether noise or vibration is excessive.

Maintenance Data

Provide Owner complete manufacturer's maintenance data for all equipment. To include valve tags of brass with chain attached to valves and tag directory mounted in framed glass and installed in Mechanical Room. One complete set of literature furnished in 8½" x 11" ringed binder, properly labeled.

Tests

Test piping hydrostatically at 150% of working pressure, to show no displacement, straining or leakage. Repair leakage without caulking and retest.

Painting, Color Coding and Pipe Coding

1. Painting by Mechanical Insulation Contractor: Buried insulated lines, insulated piping in furred areas concealed, and in crawl spaces, painted one heavy coat of asphalt varnish, verminproof.

2. All other work by Mechanical Painting Contractor:

   a. Exposed piping and equipment not factory painted, i.e. expansion tanks, steel supports, brackets, hanger rods, beams, supports, equipment bases, etc., painting as specified for Metal Work under painting section.

   b. Pipe Coding: All piping shall be coded with colored taped bands to identify each system. A directory shall be placed in the mechanical room for describing the color coding.

   c. Patching: Any cutting or altering required by this contractor to be patched and painted to match existing areas.

Excavations and Backfill

Excavate trench to width not less than O.D. of pipe plus 16 inches. On sewers grade and shape trench bottom to receive pipe and dig bell for firm support. Remove any unstable subgrade and rocks, and refill with compacted sand or gravel, as approved. Excavation for trenches and tank holes sump-pumped during installation. Minimum cover for piping 2' - 0". Protection of existing utilities the responsibility of this contractor. Any damaged lines or services repaired immediately. Paving, walks and lawns (existing) which are disturbed shall be repaired and left in their original condition.

Installation of Piping

1. Piping to all equipment made with unions or flanges for easy removal. No close nipples or bushings are permitted in piping.
2. Provide check valves at connections where a back-flow through the domestic water system may occur.
3. Make allowance for expansion, contraction.
4. Anchor horizontal runs over 50 feet in length to wall or supporting construction in middle of run to force expansion evenly divided toward ends.
5. All systems tested prior to concealing and/or lathing and plastering.
6. Pitch water pipe to drain. Provide pipe drains at all low points. Grade piping down to drains.
7. Ream all pipe and remove all foreign material from inside pipe.
8. Heating lines installed under interior or exterior concrete slabs welded fittings only.

Wall and Ceiling Plates

Provide chromium plated cast brass split type wherever pipes exposed to view, pass through walls, partitions, plaster furring, floors, ceilings, etc.

Pipe Hangers

1. General: All piping above ground supported by adjustable hangers. Piping three inches and larger hung by clevis type; piping 2½ inches and smaller hung by swivel ring type, split ring. "Grinnel" No. 260 G or similar. "Grinnel" No. 104 G or similar.
2. Hangar rods as recommended by "Grinnel" Company, published data. Wall hangers fabricated of steel angles or factory made, anchored to walls with concrete inserts as approved.
3. All copper piping hung with felt or rubber inserted hangers - "Trisolator" or approved.
4. Pipe Hanger Spacing: Copper piping spaced maximum 5' - 0" o.c.; other piping, 1-1/4" and smaller spaced 8' - 0" o.c. maximum. 1-1/2" and larger spaced 10' - 0" o.c. max. At any change in direction - 2' - 0" from corner. Vertical pipes supported at intervals of 10' - 0" o.c. and at each floor level, with floor clamps.
5. Underground piping supported as required or as detailed on plans. Provide gravel and sand backfill.

Insulation

1. For Plumbing and Heating:

   a. General: Insulate all hot water supply and return piping, where above finish ground, except exposed runouts in finished rooms to heating units, unions, valves, and as specified hereinafter. (See "Underground Pipe Insulation").

   b. Pipe Insulation

      (1) Materials: Johns-Manville, Armstrong, or Owen-Cornings products are approved.

      (2) Installation: Insulation applied over clean, dry pipe, with all joints butted firmly together. Standard factory attached canvas jacket pasted smoothly over the insulation and each three foot section additionally secured with at least two metal bands of aluminum finish. Fittings insulated and finished with 85% magnesia cement to a thickness equal to the adjoining pipe and finished with canvas. For large pipe sizes, molder insulation securely wired in place and finished with a smooth coat of special insulating cement, and a canvas cover. "Fire Resistant" type jackets required on all piping exposed in areas classified for maximum fire protection.

      (3) In boiler room all insulation "Thermobestos", Johns-Manville or approved.

   c. Hot Water Heating, Supply and Return: 3/4" minimum thickness, fiberglass, thermal conductivity .27 (L) at 150° F; for piping over four inches, one inch thick.

      (1) Jacket: 4 ounce canvas

      (2) Finish for Canvas: One heavy brush coat, similar to "Arabol" lagging adhesive, where insulation is exposed in finished room area.

      (3) Painting: As specified under "Painting" by Mechanical Painting Contractor.

   d. Hot Water Tanks, Etc.

      (1) Factory unjacketed tanks: All surfaces insulated with 85% magnesia blocks, or "Thermobestos" blocks, 1½" thick. Blocks applied with edges tightly butted and secured with wire or bands. Over the blocks apply a leveling coat of cement consisting of 85% magnesia cement and special binder. Finish with 8 ounce canvas cemented on with mineral paste. Factory applied insulation specified with equipment.

      (2) Finish for Canvas: One heavy brush coat, similar to "Arabol" lagging adhesive.

   e. Underground Pipe Insulation:

      (1) General: On underground heated lines apply 1½" thick "Foamglass" (pre-molded) with "Glas-Fab" jacket factory applied and finished with cut-back asphalt. Over "Glas-Fab" install a weather-proof jacket of Johns-Manville #45A asbestos felt, (1 - square - 42 pounds) horizontal laps down to shed water, joints lapped 3" and jacket secured with loops of No. 16 AWG copperweld wire on 6" centers; coat all joints and laps with one coat asphalt paint. Vertical piping longitudinal laps sealed tight with special adhesive.

      (2) Installation: Approved inspection required before backfilling.

      (3) Alternate: (for piping under building floor slabs) "Armstrong" Arma-flex. Flexible, foamed plastic pipe insulation, 1/2" thick walls applied with butted joints sealed with special adhesive.

2. For Duct Insulation:

   a. Rectangular and Round Ducts: Vapor barrier type - exterior flexible blanket.

   b. General: Insulate all heated supply ducts and return air ducts and fresh air intakes to fan cabinet. Gravity ducts not insulated. Where ducts are sound attenuated, omit exterior insulation. Mechanical Equipment Room: All ducts with sound attenuation.

   c. Material: Ducts insulated with 1" thick, incombustible, mineral fibers, density of 3.0 lbs./cu. ft. Johns-Manville - type No. 411 "Spintex". VS facing.

   d. Application: All insulation applied with edges tightly butted and secured with metal clips and adhesive. Clips spaced as required to hold insulation firmly against the duct surface. Adhesive Minn. Mining Company.

   e. Finish:

      (1) Concealed Areas: All joints pointed up with asphaltic sealing compound. Johns-Manville zero seal or approved.

      (2) Exposed Areas: Adhere 6 oz. canvas to the insulation with a brush coat of "Arabol" and follow with a second coat.

Inspection, Adjustments and Completion - Upon Completion

1. Heating system operated for one day to demonstrate satisfactory performance. Dampers marked for proper location.
2. Boiler room controls adjusted: Provide maintenance and operating data, in framed chart mounted in boiler room. Custodian instructed in proper operation.
3. Any equipment or systems found deficient during tests: Mechanical contractor to revise as required to entire satisfaction of Architect.
4. Fans operated during construction provided with filters which are to be removed at completion of job. All fan coil units provided with new or cleaned filters.
5. Balancing of air systems to be provided by School District.

Inspection Form

Mechanical Contractor to provide a form similar to the following as shown below and returned to the Architect before final payment is received.

Mechanical Contractor hereby certifies that installation has been completed in compliance with plans and specifications, change orders and addendas. Any deviation in locations of equipment and piping noted on As-Built Drawings.

Signed: _____
Mechanical Contractor

Dated: _____

Acceptance

In addition the State Plumbing Inspector shall give final approval prior to completion of job. The Mechanical Contractor shall provide written acceptance of the installation by the State Plumbing Inspector.

Guarantee

Mechanical Contractor shall guarantee to replace or service any and all deficiencies found in installation for a period of one year from date of acceptance. Normal wear, such as oiling, changing filters, etc., not included in service.

Scope of Work - Plumbing

PLUMBING

Generally this contract includes the following:

Water Services
Sanitary and Storm Sewers
Plumbing Fixtures, (3 copies in a brochure)

Water Supply and Distribution System

1. General: Distribution system from building services - Water pipe sizes, unless otherwise noted: 3/4" for water closets, 1" for urinals, 1/2" for sinks, lavs., etc. Minimum size of 3/4" for branches and maximum of 3 feet for 1/2" runouts. Water lines in ground parallel to sewer lines not less than 10' apart.

2. Materials:

   a. Cold Water: Galv. steel pipe, Sch. 40, N.I. galv. fittings. Piping below concrete slabs if exterior to the building wrapped with "Scotchrap" No. 51; "Plicoflex" similar. Piping under interior concrete slabs, copper type "K", laid in sand bed. Di-electric union or coupling on connections - copper to steel.

      (1) Unions: 125 pounds two inches and smaller.

      (2) Flanges: 2½" and larger American Standard.

      (3) Gate Valves: 125 pounds - IBBM or all brass.

      (4) Valve Boxes: Underground similar to "Brooks" with steel or C.I. cover labeled for service.

   b. Hot water: Same as for cold water.

   c. Shock Absorbers: "Zurn", "Josam" sizes as recommended by manufacturer. Installed at main battery toilets. Air chambers on individual fixtures.

   d. Relief Valves: Provide "Code" approved safety relief valves on all pressure vessels.

   e. Pressure Gauges: "Marshalltown" Fig. 22 or as indicated.

   f. Thermometers: "Weiss", "Palmer" 6" submarine type - 30° to 240° F. with separable socket.

Rain Drains and Storm Sewers

Rain drains to originate at building downspouts or conductors as indicated on drawings. Cast Iron soil pipe from building to a minimum of 5' from foundation wall or as indicated on the drawings.

Sanitary Sewer System

1. General: Main building sewer pitched 1/4" per foot under building unless otherwise indicated. Soil pipe from building to a minimum of 5 feet from foundation wall or as indicated on the drawings.

2. Vent Piping: Extended 12" above finished roof with 4 pound load flashing extended 12" in all directions from pipe. Piping, 2½" and smaller, galv. steel Sch. 40 with cast iron 125 pound fittings. All piping 3" and larger above floor slab and all vents
3 below slab on ground of cast-iron soil pipe and fittings.

3. Soil and Waste Pipe: All waste piping above floor slab, galv. steel pipe, Sch. 40 with cast-iron drainage pattern fittings. Pipe and fittings below floor slabs and 4" stack vent of standard weight cast iron soil pipe and fittings, asphalt coated. All soil pipe cast-iron bell and hub.

4. Joints and Connections: Steel pipe made up with approved pipe joint compound applied to male thread only. Cast iron bell and spigot made with oakum and pure lead, with not less than one pound of lead per inch of nominal pipe size to each joint.

Cleanouts

Provide heavy brass or bronze plugs, size of pipe (4 inch maximum) with cleanout long-sweep or sanitary Y-fittings at each line leaving building and asindicated on the drawings. Sanitary tees may be used above finish grade on rain drains. Clean-out plugs installed at each sink, under the counter, no cover required. Cleanouts of the following type: Zurn, Josam, J.R. Smith, or approved.

1. Wall Clean Out: W.C.O. - Zurn Supremo Z-1305-1 C.I. Cadmium - plated plug C. P. cover plate.

2. Floor Clean Outs: F.C.O. - Y-300 Josam bronze c.o. plug.

3. C.O.T.C. Clean out to Grade: Y-300 Josam bronze c.o. plug. Extension body, terminate in 16 x 16 x 6 in. concrete pad if not in paved concrete area.

Plumbing Fixtures

1. General:

   a. Materials: Provide non-absorbent china of even color, unwarped fixtures; high temperature enamel finished, smooth, cast iron or china fixtures, as selected, including the following:

      (1) Trim: Brass with polished chromium plated finish, individual stops for all supplies, escutcheons, etc., and items as listed with fixture.

      (2) Outlets: Through walls or floors to fixtures: not smaller than specified trim connection.

      (3) Wall Hung Fixtures: Fixture hangers securely attached to 2" x 4" wood backing for lavs., sinks, and urinals, to frame walls. Provide steel angles for mounting to concrete or masonry walls.

      (4) Floor Type Water Closets: Set on approved cast iron tapped flanges, set in approved "setting seal". Unions in waste pipe on fixture side of traps may be slip or flange joints with soft rubber or lead gaskets. Fixtures not having integral traps provided with "P" traps, solderless seamless base.

      (5) Approval: Fixtures ordered only after approval of two brochures submitted to Architect.

      (6) Manufacturer: American Standard, Crane, Briggs, Kohler, or approved. Designation on plans: (WC-1) water closet; (UR-1) Urinal; (S-1) Sink; (FD-1) Floor Drain; (HB-1) Hose Bibb, etc., (R.I.O.) Rough-In only.

   b. Floor Drain: FD-1: 3" C.I. Dura-coated body; heavy duty with top grate, 11-3/4" "Zurn" Z-500.

HEATING AND VENTILATION

HEATING & VENTILATION

Scope of Work

1. Warm-Air Furnace - oil fired.
2. Ductwork
3. Temperature Controls

Warm Air Furnace

1. Manufacture: "Lennox" 00-490, industrial heater with sequencing safety combustion controls, fan limit, pre-wired control panel. "Fireye" - lead sulphide scanner, solenoid oil valve and two stage oil pump. Combustion and induced draft blower, efficiency 80%.

2. Capacity: 280 MBH output U/L rating, 43 sq. h.s. - aluminized steel. Two 12 x 12 blowers 300° CFM - 775 RPM 3/4" total static pressure; 1 H.P. motor, 1/2 H.P. oil burner; 8" flue connection.

3. Installation: Base set on 2" x 2" x 1/4" steel angle with air-tight caulking compound. Filters - external to unit (2) 24 x 24 x 8" "Farr-Air" HP-2. Filter rack and access door.

4. Filter Switch: "Dwyer" No. 1800 - set for .50" S.P. Switch with remote filter light installed at main electrical control panel in mechanical room.

Temperature Controls:

Electric: see diagrams on plans.

Sheet Metal - Ventilation

1. Ductwork:

   a. General: Provide all ductwork, grilles, dampers, filter installations, etc. It is the responsibility of this contractor to install ductwork with adequate clearances for inspection and removal of filters, motors, drives, etc. Dampers installed for proper balancing of system. Install ceiling operators on dampers where furred spaces are inaccessible. Duct Insulation as specified under "Insulation." Painting as specified under "Painting, Color Coding and Piping Coding."

   b. Sheet Metal Ductwork: Made of commercial grade galv. iron. Broken places in galv. coating made in forming; completely soldered over. Steel angles provided for support as required.

   c. Sheet Weights: as follows:

Duct Size	Galv. Iron U.S. Gauge
0" to 12"	26 gauge
13" to 30"	24 gauge
31" to 48"	22 gauge
49" to 90"	20 gauge

   d. Ducts under 14" in greatest dimensions have government clip or pocket slip seams 9" o.c. maximum. Ducts over 14" in greatest dimensions have same at 30" on center max. Additional bracing required where ducts sag or vibrate. Reference "ASHRAE" guide.

   e. Ducts diagonally creased on all four sides. Longitudinal seams, double crimped, bent, hammered air tight. Hangers: 5' - 0" o.c. or as required, 1" x 16 gauge strap hangers. Duct joints taped with "Permacel" type tape or approved, air tight.

   f. Elbows made with center line radius of 1-1/2 times duct; width of duct parallel to radius. Where space does not permit above radius, or where square elbows are shown, equip with turning vanes; extended adj. lever.

   g. Opposed blade mixing dampers furnished and installed at locations indicated on the drawings and as required to balance systems completely. Dampers have locking and indicating quadrants, "Parker-Kalon" Company's or equal. Access doors as specified elsewhere.

      (1) Dampers: Multi-louver type arranged for opposed blade operation.

      (2) Damper Blades: U.S. 16 gauge galv. steel, minimum shaft size of 3/8". Provide with suitable bearings; bronze, sleeve type, or equal.

      Automatically controlled dampers furnished by Temp. Control Supplier, installed by Sheet Metal Contractor.

   h. Flexible connections installed at fan intakes and discharge, "Bauer and Black" duct connector. Allow minimum of 1" free space between two metal collars to be connected. Fire dampers installed behind grilles or through fire wall partitions where indicated. Reference: NFPU pamphlet No. 90; all linkages accessible.

2. Sound Attenuation

   Install sound attenuation in recirculating and supply ducts, or as indicated. Moisture resistance, fire resistant, glass or mineral wood sound absorbing duct liner, clipped and cemented to ducts. Dimensions of ducts shown are net inside liners. 1/2" Johns-Manville "Micro-Bar" semi-ririd duct liner, with mechanical fasteners as follows:

Width or Heights	Spacing - 18" center Required	No. of Rows
	Top	Sides and Bottoms
Up to 18"	1	1
18" to 30"	2	1
30" to 48"	2	2
Over 48"	On 18" center both directions	

3. Registers, Grilles and Accessories

   a. General: All registers and diffusers furnished under this contract shall diffuse air uniformly thru-out the conditioned space. The throw, pressure drop, sound level and overall performance shall suit the specified job requirements.

   b. Installation: Install proper wood or metal grounds for securing registers to finish surfaces. In masonry construction, provide expansion shields or approved anchoring devices. All metal surfaces on registers provided with sponge-rubber gaskets and finish screws. Registers and diffusers with baked enamel finish, color as selected, except where specifically noted with prime-finish only. All registers and diffusers with opposed blade volume dampers, key operated (removable).

      (1) Wall Supply Registers: B/C Model MA, removable core, adjustable deflection, deflection as selected. 85% free area. No. 4 finish.

      (2) Wall Return or Exhaust: B/C Model MF, removable fixed fin core, 85% free area. Type SF No. 4 finish.

SPEC'S: MECHANICAL
MULTI-PURPOSE RM. FOR EVERGREEN SCHOOL
JOSEPHINE COUNTY SCHOOL DISTRICT

EDSON & PAPPAS ARCHITECTS
MEDFORD, OREGON

DRAWING SP. 3

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HEATING AND VENTILATION (Cont'd)

HEATING & VENTILATION

Sheet Metal - Ventilation (Cont'd)

3. Registers, Grilles and Accessories

(3) Ceiling Exhaust: B/C Model MF: "Tuttle and Bailey", "Titus" or approved. Fixed fin core, type RF, No. 4 finish. Note: Sizes shown on plans are based on 86% free area. Registers of other free areas shall be increased in size proportionately.

(4) Accessories: Registers furnished with necessary turning vanes, adjustable turning vanes, vane operators, etc., as required and indicated. "Airturns" at square elbows. "Deflectrols" at branch connections to main. "Voladjuster" for remote control of volume dampers.

4. Vents, Shutters, and Wall Louvers:

a. Gravity Vents: Provided 26 gauge aluminum blade shutters. Shutters mounted on ducts or grilles as indicated, frames anchored with sheet metal screws.

b. Shutters: "AFECO" or approved type A-100, felt edged, 16 gauge steel frames, brass type bearing. 3-1/2" blades, these dimensions shall be reduced where required to install in narrow walls, so that interior grille can be made flush with wall. Verify limiting dimensions with building construction.

c. Wall Louvers: "AFECO" or approved type F-8A; Frame: Galv. steel - 4" x 1/2" - 20 gauge. Anchor bolts to wall. Blades galv. steel - 20 gauge, weatherlip edges, set at 45° - 4" centers. Screen 1/2" mesh - 19 gauge. hardware cloth. Finish prime coated.

5. Filters: Provide high efficiency preformed deep type, consisting of holding frame, retainer, sealer frame, and filter cartridge in factory fabricated "filter-assembly". Provide initial filters and one spare for each retainer. Filter mean efficiency 95% NBS discoloration test. Flame-proofed U/L class 2. Resistance .115". W. G. at 435 FPM clean. Manufacturer "Farr Company" HP-2; "American Air Filter", similar. Capacity 2,500 CFM - 2 filters - 24" x 24" x 8"

a. Filter Switch: "Dwyer" No. 1800 set for .50" S.P. Switch shall be with remote light which shall be integrated with temperatures. Installation: See manufactrer data, arrangement to suit space available.

ALTERNATE No. 1 - Install the following under Alternate No. 1 only.

Scope of Work:

1. Hot water boiler - burner unit - accessories
2. Volume heater - ductwork - piping
3. Temperature controls

Hot Water Boiler - Burner Unit

1. General: Furnish and install as shown on plans, one hot water packaged automatic boiler. The boiler shall be mounted on a heavy steel frame with integral forced draft burner and burner controls. It must be completely preassembled and tested ready for immediate attachment of water supply and return piping with fuel, blow-off, electrical and vent connections.

The unit shall be constructed in strict accordance with the requirements of the ASME Boiler Construction Code, and State and local codes, for an allowable working pressure up to 30 pounds per square inch. The boiler shall have a rating of 40 H.P., and shall be capable of generating continuously Hot Water: 1,335,000 BTU perhour. Mfg: "Ray" Husky series 40.

2. Boiler Design: Low pressure boilers shall be of three-pass, wetback, horizontal fire tube design having not less than five square feet of fireside (ASME) heating surface per boiler horse power. The fire tubes shall be staggered for proper waterside circulation and readily removable from the front of the boiler. All boiler tubes shall be roller expanded to the tube sheets. No boiler tubes are to be welded to the tube sheet.

Front doors shall be gas tight and insulated. They shall be readily removable to permit access to all fire surfaces without removal of burner or control equipment. The front doors shall be hinged and held in place by lugs, and shall be constructed with heavy duty handles. A gas tight access door shall be provided at the rear of the boiler.

Heat release in the furnace exclusive of rear combustion chamber shall not exceed 150,000 BTU per hour per cu. ft. Brickwork shall consist of high heat firebrick, laid in high temperature cement or high temperature precast refractory.

The boiler shall be provided with washout openings and manholes as required by the ASME Code. The flue gas outlet shall terminate in a round flanged collar for connections of exhaust vent and shall be equipped with a dial type stack thermometer. The unit shall have an observation port at the end of the furnace equipped with pyrex. The boiler shall be furnished complete with two inches of fiberglass insulation and protected by a steel jacket.

3. Boiler Fittings: The boiler shall be equipped with the following items, completely piped and wired at the factory in accordance with code requirements. ASME approved relief valve. Pressure and temperature indicating instruments. Low water cutout with drain valve, piped to function approximately 6" above top tubes.

4. Tests and Start-Up: The boiler shall be subjected to a hydrostatic pressure test during construction in manufacturer's shop in the presence of a National Board Inspector. The test shall conform to the requirements of the ASME Boiler Code. The completed unit shall be subjected to a firing test on the specified fuel prior to shipment and a copy of the firing test shall be available. An instruction manual shall be provided with the unit describing installation, operation and maintenance of the boiler.

Supervision of start-up and instruction of operating staff shall be provided by factory trained personnel. The local representative in the area where the boiler is installed shall have factory trained service personnel available on a 24 hour a day basis seven days a week for emergency service requirements.

The unit shall be guaranteed to operate at a fuel-to-steam efficiency of not less than 80% over the full range, and shall be guaranteed against faulty workmanship and materials for a period of one year from date of shipment.

A combustion test shall be performed by the local boiler representative, with an Orsat, after the boiler is in operation and before acceptance. The flue gas analysis shall show no less than the following:

Fuel	CO_2 High Fire	CO_2 Low Fire	CO_2 Through Ranges
#2 or PS #200 Oil	13%	11%	No Trace

5. General Description: The packaged boiler shall be fully automatic in operation. It shall be equipped with an automatic forced draft burner and controls which shall provide for regulation of the oil supply and the air supply, and each shall be controlled simultaneously and in direct proportion so that the quality of combustion will not be affected by the change in capacity required from the boiler. The equipment shall have a low fire start. Combustion air shall be delivered and controlled to form a flame pattern for stable combustion on oil fuel. The interconnected air and ful control shall be regulated by an electrically operated, modulating motor.

6. Oil: The oil burner shall be a forced draft, pressure air atomizing type with a variable flow nozzle and shall be directly connected to a 3/4 H.P., 240 volt, 60 cycle, 1 phase AC motor. Ignition shall be of the interrupted electric type. A direct connected integral forced draft fan shall be provided. The fan motor shall be 1/2 H.P, 240 volts, 60cycle, 1 phase A.C. motor.

7. Combustion Safety Control: An electronic combustion safety control shall be provided, which will prove the pilot and main flame to provide 100% shutoff in the event of pilot or main flame failure. It shall also provided pre-purge and post-purge cycling.

8. Control Cabinet: A totally enclosed "dead front" control cabinet shall be provided. All motor starters, modulating motor transformers and other control components shall be surface mounted therein. All controls shall be factory wired and tested. All power wiring shall be TW wire of the machine tool 90° C type. Circuit breakers shall be provided in the control cabinet for the control circuit and for all power circuits.

9. Operating Controls: One limit control 30 lbs or temperature. One modulating Pressuretrol 20 to 30 lbs or temperature. One modulating motor with linkage for synchronous control of fuel and air.

Expansion Tank

"ASME" code type for 125 W.P. with gauge glass and connection 3/4" air line from boiler connection installed without valve in line. Pitch air line from tank to boiler connection, minimum of one inch in 5' - 0". Capacity: 100 gal. 20" x 80". Installation: See drawings. Provide 1/2" air connection with air valve, for hand pump connection.

Fuel Oil System

Connect new fuel oil lines, 3/4" copper tubing, supply and return to existing fuel oil tank. Provide new connections on tank. Do not weld connections. Provide fuel oil filter on burner suction with gate valve and union. Install 2" fuel or lines under floor to outside wall for future use of heavy oil.

Boiler Room Piping

Hot Water piping connected to expansion tank, and volume heater coils. Piping capped for future extension.

Circulating Pump

Centrifugal, pipe or foundation-mounted booster type. Consisting of a single, direct-connected unit comprising pump and motor. Standard fitted to "Hydraulic Institute Standards"; mechanical shaft seal. Motor 1750 RPM, drip-proof. Manufacture: "B & G", "Dunham", "Taco" or approved. Capacity: P-1 - 1/4 H.P. motor, size 2½". No. 2½" "B & G" 40 GPM @ 13' head.

Piping Accessories

1. Expansion Tank: "Airtrol" "B & G" ATF-18"
2. Radiator Valves: "Dunham", "Webster" or approved. "Dunham" No. 400 (MRV) manual radiator valve, spring-packed hole for anti-freeze protection. Install so that occupant can easily operate valve; provide on each convector.
3. Expansion Joints: "Flexonics" suitable for service intended. Accessible for inspection. Anchor securely with hose connection.
4. Automatic Air Vent Valve:

a. (AAV) "Hoffman" No. 79, copper tubing air line extended to drain - properly pitched.

b. (MAV) Manual air vents. Screw-driver adjustment, accessible for testing and operating. Located on each convector element and where required to eliminate air at high points. Mfg: "Dole", "Dunham", "Webster."

5. Strainers: Cast-iron body, "Y" type - 100 lb. W.P, 22 gauge removable brass strainer. Mfg: "Dunham", "Webster.
6. Balancing Cocks: 125 W.P. brass construction with pre-set balance position. Mfg: "Illinois" - combination balancing and shut-off valve. Install on return at each heating convector.

All other balancing cocks - "Crane" No. 254 - 1-1/4" and larger.

7. Pressure Gauges: "Marshalltown" Fig. 22 or type as indicated. Install on each pump suction and supply and as indicated.
8. Thermometers: "Weiss", "Palmer"; 6-inch submarine type with separable socket red reading - range 30° to 240° F. Install on discharge of each pump and on return line from volume heater coil.
9. Gate-Globe Valves: 125 lb. "Crane", "Lunkenheimer" Suitable for hot water heating.
10. Hot Water Piping: Schedule 40, black steel piping with screwed, cast-iron steam pattern fittings. Flange fittings where shown or required. Material to conform to ASA standards. Welding fittings may be used with an approved welder only.

11. [illegible]

Smoke Breeching

Provide pre-fabricated breeching - diamter to suit boiler outlet (8" min.) 10' - 0" above roof. Three 1/8" steel guy wires secured to collar at outlet bolted to roof joists. Material - 12 gauge steel, prime coated - red lead. Base of chimney vented - 9" clearance shop drawings required.

Volume Heater

1. General: Provide heating and ventilation unit complete with fan section, drain pan, adjustable sound isolating motor base, motor, adjustable ~~pitch~~ V-belt drive and belt guard. Unit arranged for horizontal mounting; hot water heating coils. Complete unit insulated including the fan section. All casing parts fabricated from heavy gauge steel, prime coated inside and finish enamel on exposed parts; bolted joints sealed to prevent air leakage. Manufacture - a member of "AMCA", "American Blower", McQuary, Trane, Face, or approved.
2. Fan Section: Fan section including the sheels and housings fabricated from heavy gauge steel. Fans of the multi-blade, forward curve type, mounted on a common shaft. The fan section side panels removable for internal access. Fan section insulated with one inch thick coated mineral fiber insulation. Fan bearings, ball or sleeve type, externally mounted. Fan capacity: 3000 CFM at 3/4" total static pressure. Fan to not operate at over 750 RPM at .52 BHP.
3. Motor: 1750 RPM mounted on an adjustable sound isolating base located on the discharge side of the fan section. Motor drive with properly selected adjustable V-belt drive. Belt guard with hole at shaft for determining RPM. 1 H.P. motor, open type NEMA frame. Magnetic starter furnished by Electrical Contractor.
4. Heating Coils: Heating coils for hot water, constructed of 5/8" O.D. seamless copper tubing with aluminum fins. Supply and return connections at same end. Coil face area rated at 550 FPM, 3,000 CFM.

a. Capacity: Rated at 200° F. ent. hot water, 20° F. Temp. drop to raise air 40°F. to 120° F. with a total of 260,000 BTU/hour. Not less than a two row coil. Air friction not to exceed .20" W.G., maximum pressure drop of 4' head loss.

b. Filters: Filter frame and rack specified under the sheet metal section.

5. Installation: Contractor to provide steel supports, mounting angles, etc. as indicated on the drawings.

Temperature Controls:

See diagrams on plans.

ELECTRICAL

ELECTRICAL:

1. Perform the electrical work shown or indicated on the drawings including all materials, labor, and incidentals to complete the work in a safe, finished, neat and workmanlike manner.
2. Conceal all wiring except as noted on the drawings. Use electrical metallic tubing except under floors in the earth or concrete use galvanized rigid conduit. Minimum wire size is #12 AWG copper with code grade insulation, except where noted on the drawings. In those cases where exposed conduit is permitted the installation shall be parallel to or at right angles with the structural members of the building, and securely fastened. Where exposed to public view the conduits shall be painted the same color as the surrounding material.
3. All electrical equipment shall be new and U. L. approved. The Contractor shall guarantee the materials and workmanship for a period of one year after acceptance for normal usage and shall replace or correct any defects promptly without cost to the Owner.
4. The electrical contractor shall inspect the site to determine the existing working conditions. Comply with all electrical code requirements, latest revisions of each. Obtain all permits and inspections and include the cost in the contract sum. Comply with the power and phone utility requirements and coordinate the work with these companies.
5. All fixtures shall be furnished clean and complete with lamps. Connect electrically all equipment shown. The electrical contractor shall furnish and install the magnetic starters and disconnects to the mechanical equipment and make the power and control wiring connections as indicated. Fans and motors shall be furnished and mounted by the mechanical contractor.
6. Incandescent lamps shall be G.E., Sylvania, or Westinghouse, 125 volts of the wattage indicated. Fluorescent lamps shall be cool white, G.E., Sylvania, or Westinghouse. Ballasts shall be high power factor, CBM or ETL either fused dry type or G.E. Bonus line. Sound rating shall be "B" or better and the fixture shall be considered defective if the noise is excessive.
7. The work shall include the electric power and lighting systems, fire alarm, program and clock systems, coordination of the heating and ventilating equipment, connection of kitchen equipment, panels and circuit breakers and other devices and methods indicated.
8. The work shall not include furnishing meters, current transformers, fans, motors, kitchen equipment, heating and ventilating equipment, portable plug-in equipment and similar type items unless indicated on the drawings.
9. The electrical contractor shall return a marked up set of clean, neat, legible drawings to indicate any changes or deviations necessary for the work. The contractor shall furnish at the completion a hard bound folder of catalog data of all equipment used on the job for future use by the school district for maintenance or replacement of equipment.
10. Electrical panels shall be circuit breaker type, G.E., Westinghouse, or Coast with protected circuit schedules, and shall be surface or flush as indicated. Circuit schedules shall be typewritten, indicating the location and function of the circuit. Provide circuit breaker handle guards over those breakers supplying heating and ventilating equipment, compressors, clocks, firealarms, and similar circuits. Circuit breaker shall be 1" width and may be bolt-in or plug-in type.
11. All cabinets, safety switches, magnetic starters, time switches, and other apparatus used for the operation and control of circuits, appliances and equipment installed under this contract shall be properly identified by means of neatly stenciled or printed labels or embossed nameplates.
12. The electrical feeders, panels, branch circuits shall be of the voltage as indicated on the drawings. Where fused panels are allowed they shall be G.E., Westinghouse or Coast Quick-make, Quick-break type.
13. Switches and receptacles shall be as indicated on the drawings. Cover plates shall be stainless steel in finished areas, in unfinished areas they may be galvanized.
14. No beam shall be cut without specific approval of the Architect. This contractor shall call to the attention of the Architect any errors or discrepancies coming to his attention and shall not proceed with the work with any questionable items until clarification has been made.

SPEC'S: MECH & ELECTRICAL
MULTI-PURPOSE RM. FOR EVERGREEN SCHOOL
JOSEPHINE COUNTY SCHOOL DISTRICT
EDSON & PAPPAS ARCHITECTS
MEDFORD, OREGON
4/18/63
DRAWING SP-4

ROOM FINISH SCHEDULE

MARK	ROOM	FLOOR MAT	FLOOR FIN	BASE MAT	BASE FIN	WALL "A" MAT	WALL "A" FIN	WALL "B" MAT	WALL "B" FIN	WALL "C" MAT	WALL "C" FIN	WALL "D" MAT	WALL "D" FIN	CEILING MAT	CEILING FIN	TRIM MAT	TRIM FIN
F-1	CLASSROOM	EXIST CONC.	EXIST	WOOD 3B/2	SOB	EXIST	EXIST	EXIST	EXIST	EXIST (B)	EXIST SOB	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST
F-2	WORKROOM					EXIST HARDBD SOB	EXIST SOB			EXIST (B)	EXIST SOB						
F-3	CLASSROOM					EXIST (B)	EXIST SOB			EXIST (B)	EXIST SOB						
F-4	CLASSROOM					EXIST (B)	EXIST SOB			EXIST (B)	EXIST SOB						
F-5	CORRIDOR					EXIST	EXIST			EXIST.	EXIST	(B) EXIST HARDBD.	SOB EXIST 3GE SOB				
F-6	ART		(ASPHALT TILE)		FACTORY		EXIST (FACTORY) SOB		EXIST (FACTORY) SOB	EXIST.	EXIST (FACTORY) SOB	EXIST (A)(B)	EXIST SOB			EXIST WOOD	EXIST SOB
F-7	WORK		(ASPHALT TILE)	4" VINYL TOPSET WOOD 3B/2	FACTORY SOB	EXIST (WALLBD)	FWP	EXIST (WALLBD)	FWP	EXIST WALLBD PLYWOOD	FWP LAM PLAS	EXIST WALLBD LAM PLAS	FWP SOB		FWP	EXIST & NEW WOOD	SOB
F-8	SUPPLY			WOOD 3B/2 4" VINYL TOPSET	SOB FACTORY	EXIST	SOB	EXIST	SOB	EXIST.	SOB	EXIST.	SOB	EXIST	SOB		
F-9	MECH			EXIST	EXIST		EXIST.		EXIST.		EXIST.		EXIST.			EXIST	EXIST
F-10	GIRLS			WOOD 3B/2	SOB		SOB		SOB		SOB		EXIST				
F-11	ALCOVE						SOB		SOB		SOB		—				
F-12	JANITOR						EXIST.		EXIST		EXIST	EXIST	EXIST				
F-13	TOILET											—	—				
F-14	ALCOVE											—	—				
F-15	BOYS		(N)									EXIST.	EXIST				
F-16	AUDIO-VISUAL					HARDBD.	SOB					EXIST WALL SD GYP. BD. (A)	EXIST SOB				

REMARKS

NOTE: ALL ROOM FINISHES THROUGH-OUT BUILDING

PATCH OR REPAIR ALL ROOM FINISHES OR MATERIALS DISTURBED OR EXPOSED BY REMODELING WORK, BUT NOT SPECIFICALLY NOTED ON THE DRAWINGS, TO MATCH EXISTING SIMILAR FINISHES OR MATERIALS

REPAINT EXIST. WINDOW & DOOR FRAMES & CASING EXT. POSITION

REPLACE ALL EXISTING DAMAGED OR OPEN JOINTED ASPHALT TILE - PROVIDE NEW TILE @ DEMOLISHED PARTITION

REPAINT EXIST DOOR FRAME & CASING

NEW PLYWOOD PARTITION & GATES: SOE

NEW PLYWOOD PARTITION & GATES: SOE

ABBREVIATIONS

BLDG	BUILDING
CONC.	CONCRETE
EXIST.	EXISTING
EXT.	EXTERIOR
FWP	FLAT WALL PAINT
GYPBD	GYPSUM BOARD
HT.	HEIGHT
H.M.	HOLLOW METAL
LAM. PLAS.	LAMINATED PLASTIC
N.I.C.	NOT IN CONTRACT
O.C.	ON CENTERS
OPG	OPENING
REQ'D	REQUIRED
S.C.W.	SOLID CORE WOOD
S.D.	SASH DIMENSION
SOB	SEMI-GLOSS ENAMEL
S.S.	STAINLESS STEEL
WD	WOOD
WDO	WINDOW
@	AT
∠	ANGLE
PL	PLATE

DOOR SCHEDULE

MARK	SIZE	DOOR MAT.	DOOR TYPE	FRAME MAT.	FRAME TYPE	FINISH	REMARKS
1	2'-8" x 6'-8" x 1 3/4"	SCW	(A)	WD	(D)	DOOR-SOE FRAME-SOE	
2	2'-10" x 6'-8" x 1 3/4"	SCW	(B)	WD	(D)	DOOR-SSV. FRAME-SOE	
3	UNASSIGNED						

GENERAL NOTES

(A) REMOVE DECAYED PORTION OF PLATE AND STUDS TO UNDERSIDE OF EXIST. SILL. REPLACE W/ PRESSURE TREATED PLATE, NEW STUDS, AND 1X4 FURRING @ 16" O.C. AND 1/4" HDBD. TO MATCH EXIST. GROUT OPG. UNDER PLATES.

(B) REMOVE DECAYED PORTION OF PLATE AND STUDS. REPLACE MATERIALS AS DETAILED: 3B/2 GROUT OPG. UNDER PLATES.

(B1) CHALKBOARD W/ FRAME - WEBER COSTELLO MONARCH 1 1/4" UNITS COMPLETELY PREFABRICATED BY THE MANUFACTURER CHALKED, "CROWNSITE", 1/4" THICK W/ 1/4" HARDED BACKING. FRAME SHALL BE EXTRUDED ALUMINUM W/ SATIN FINISH. MOUNTING HT. APPROX. 6'-7" TO UNDERSIDE OF EXIST. WOOD RAIL. SIZES AS SHOWN ON THE DRAWINGS.

(C) COMPLETE R.A. CHASES AS IN ROOM F-6 1/4" HDBD ON 1X4 FURRING 8" O.C. APPROX. 6'-8" HT. INSTALL EXIST. GRILLES (13 1/2" x 13").

(D) INSTALL NEW WD. FRAME - MATCH EXIST. FRAMES.

(E) INSTALL NEW 1/4" HDBD APPROX 6'-8" HT. PROVIDE FURRING AS NEEDED.

(F) REMOVE LOWER SHELF - RAISE COAT ROD APPROX. 14".

(G) REPLACE 12" x 12" R.A. GRILLE

(H) REMOVE EXISTING LOUVER, CLOSE OPG., PATCH WALL TO MATCH EXIST.

(J) REPLACE 1/4" HARDBD. ON 5/8" GYPBD. ON 1X4 FURRING 8" O.C., AREA APPROX 48 SF

(K) EXPOSED HOT WATER PIPE @ TOP OF BASE TO BE RELOCATED.

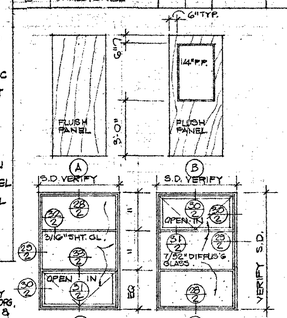
(L) COORDINATE PATCHING OF ROOF AND CEILING (MATCH EXIST.) W/ PIPE FOR ELECTRIC KILN.

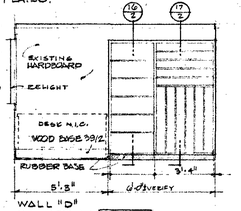
(M) REPLACE CEILING MAT. TO MATCH EXISTING.

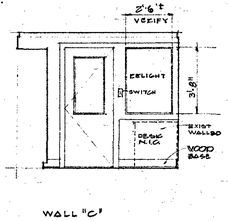
(N) REPLACE APPROX. APPROX 2/6 SQ. FT. ASPHALT TILE @ TOILET COMPART. & TRIM IN EXISTING WD. FRAMES.

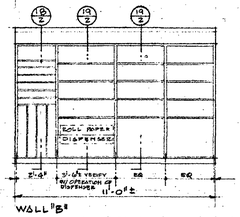
NOTE: (WINDOW TYPES) VERIFY SASH DIMENSION FOR EACH OPG. REMOVE ALL EXIST. GLAZING & OPERABLE SASH (WHERE ALUMIN. WDO. IS CALLED FOR) REMOVE ALL EXISTING MUNTINS. SET NEW SASH W/ NEW WD. STOPS & TRIM IN EXISTING WD. FRAMES.

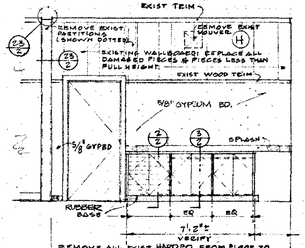
DOOR & WINDOW TYPES

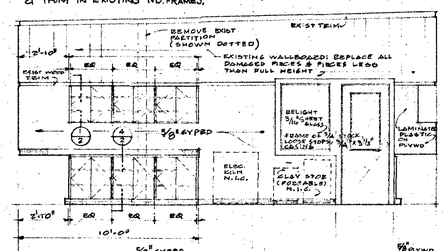


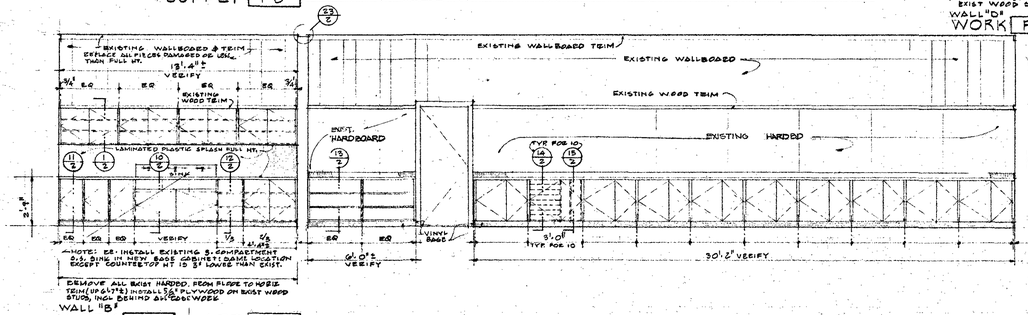


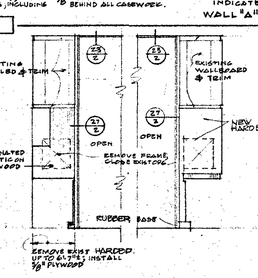


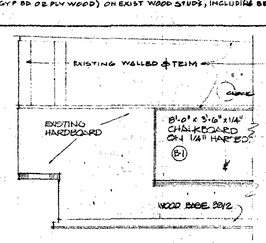


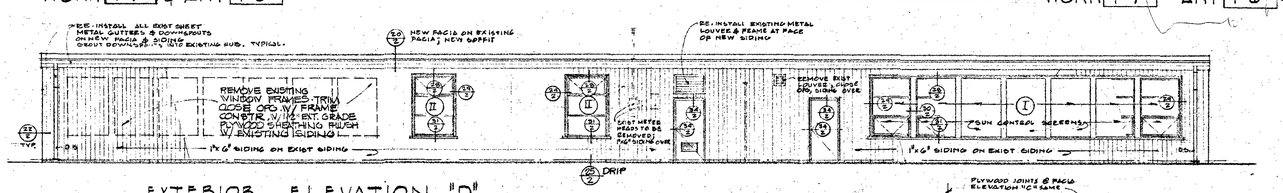


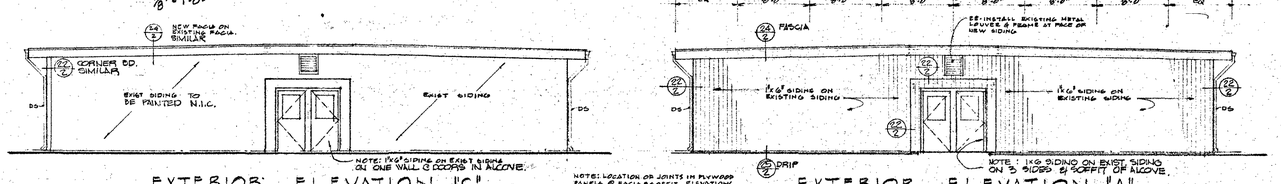


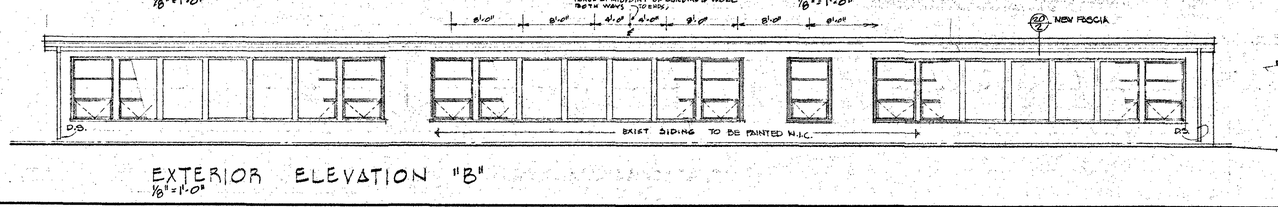


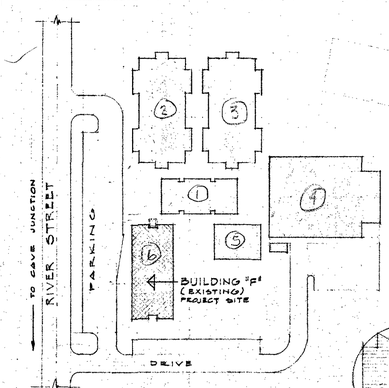


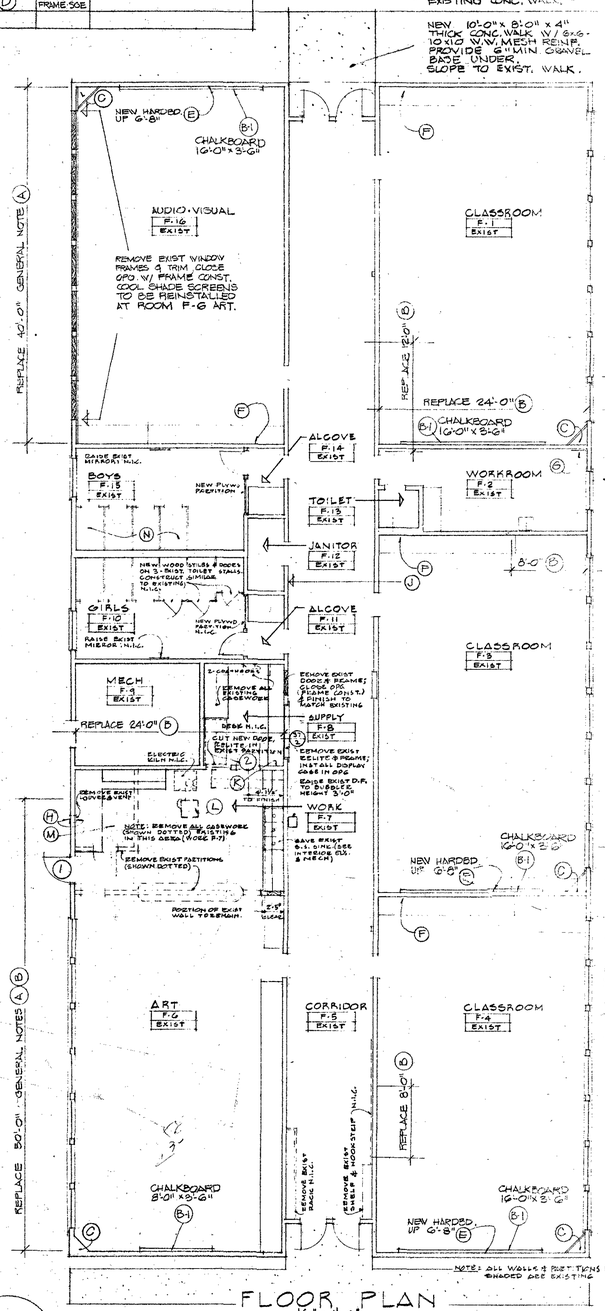












INDEX TO DRAWINGS

REGISTERED ARCHITECTS · JACK A. EDSON · MEDFORD, OREGON · STATE OF OREGON

BLDG "F" PLAN, SCHEDULES, ELEV'S

EVERGREEN SCHOOL · REMODEL ONE & BUILD

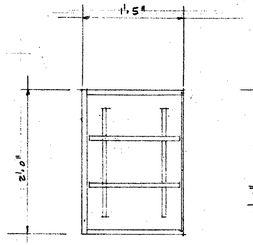
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT · OREGON

R R K

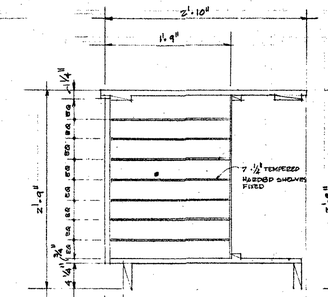
J A E

JACK A EDSON, AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

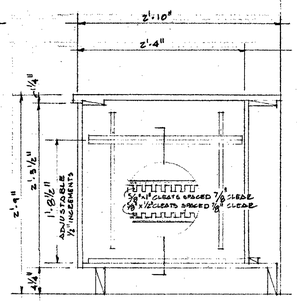
1



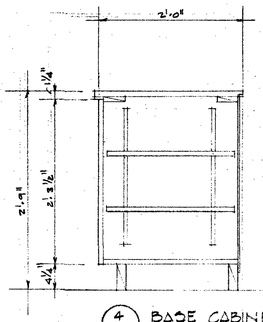
1/2 UPPER CABINET
1"=1'-0"



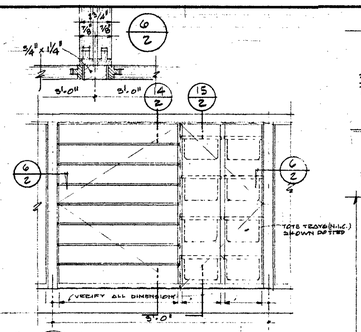
2/2 PAPER STOR.
1"=1'-0"



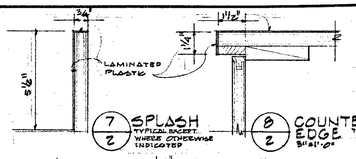
3/2 DRAWING BD. STOR
1"=1'-0"



4/2 BASE CABINET
1"=1'-0"

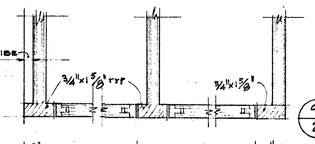


5/2 PROJECT STOR & TOTE TRAYS (ELEVATION)
1"=1'-0"

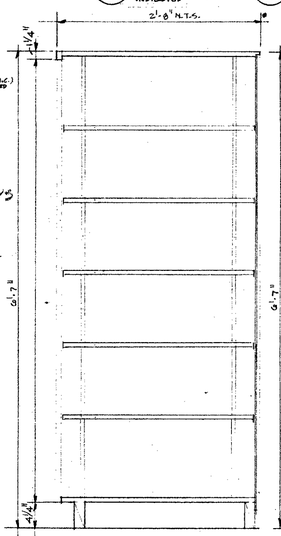


7/2 SPLASH
TYPICAL EXCEPT WHERE OTHERWISE INDICATED

8/2 COUNTER EDGE
TYPICAL



9/2 JAMBS & SUPPORT
TYPICAL EXCEPT WHERE OTHERWISE INDICATED



16/2 GENERAL STOR
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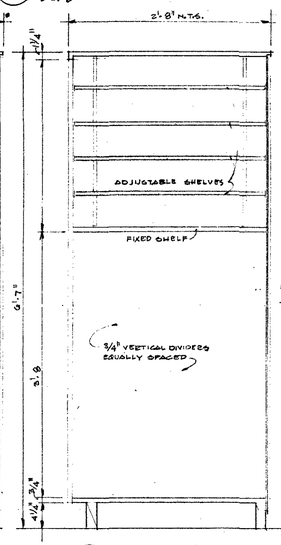
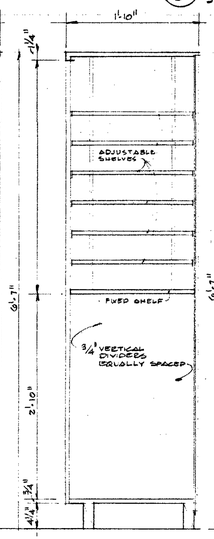


17/2 MATBD & PAPER
1"=1'-0"



18/2 MATBD & PAPER
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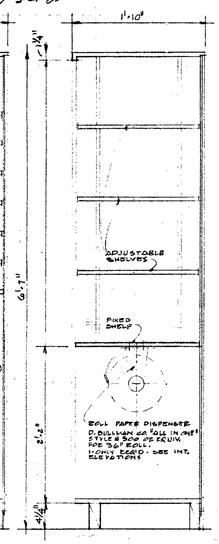
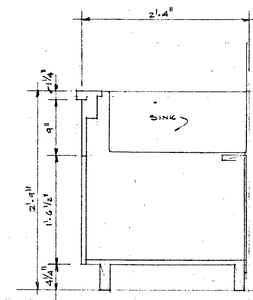
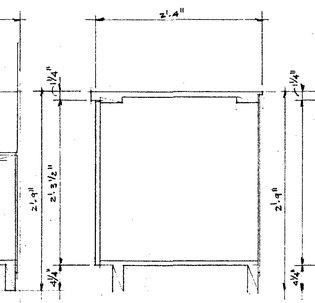


19/2 PAPER & GENERAL
1"=1'-0"



10/2 SINK CABINET
1"=1'-0"



11/2 BULK STOR.
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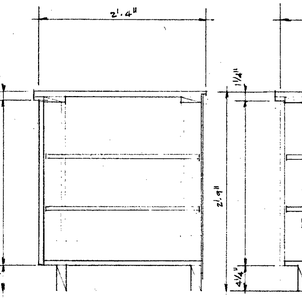

12/2 BASE CAB'T
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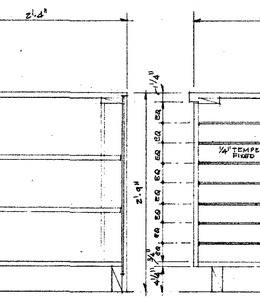

13/2 BASE CAB'T
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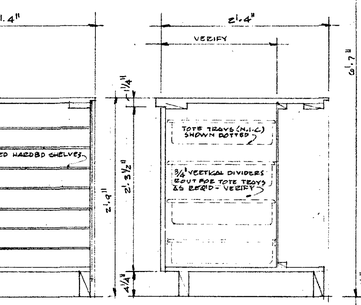
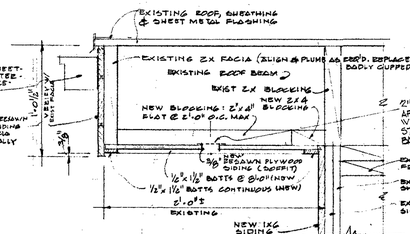
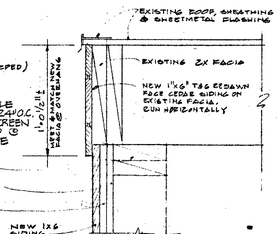


14/2 PROJECT STOR
1"=1'-0"

15/2 TOTE TRAYS
1"=1'-0"

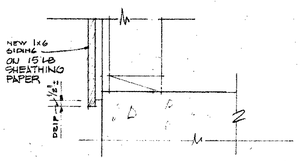


20/2 ROOF EDGE @ OVERHANG
1 1/2"=1'-0"

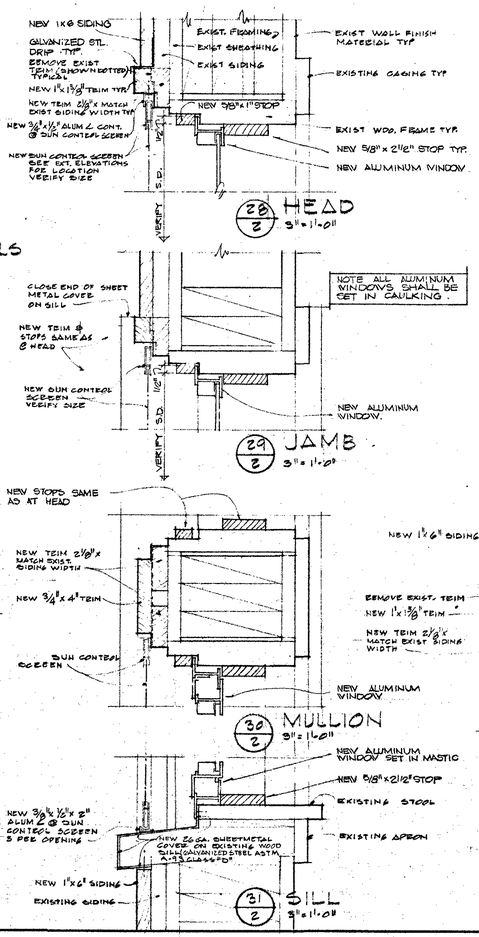


24/2 ROOF EDGE @ END WALLS
1 1/2"=1'-0"

21/2 DELETED



25/2 DRIP @ SIDING
1 1/2"=1'-0"

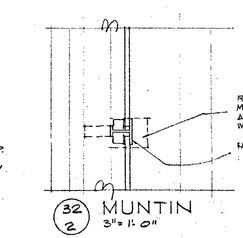


26/2 HEAD
3"=1'-0"

29/2 JAMB
3"=1'-0"

30/2 MULLION
3"=1'-0"

31/2 SILL
3"=1'-0"



32/2 MUNTIN
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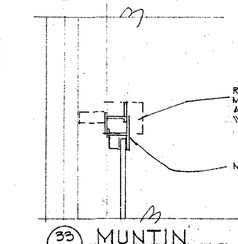
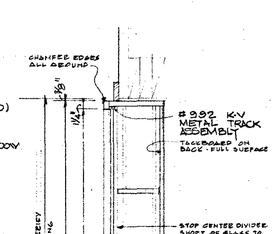
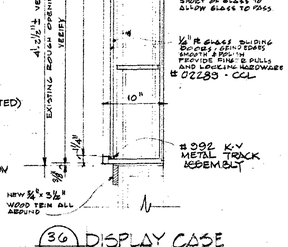


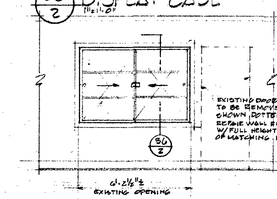
33/2 MUNTIN
3"=1'-0"



36/2 DISPLAY CASE
1"=1'-0"

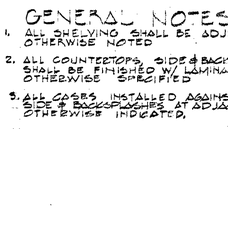


34/2 JAMB: HEAD SIM.
3"=1'-0"

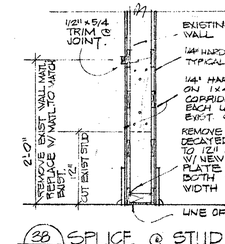


37/2 ELEV. @ DISPLAY CASE (IN CORRIDOR)
1/2"=1'-0"

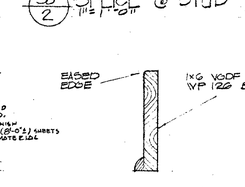
35/2 DELETED



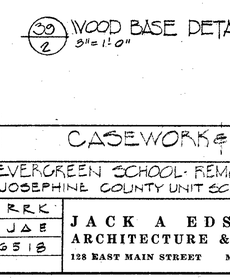
28/2 SPLICE @ STUD
1"=1'-0"



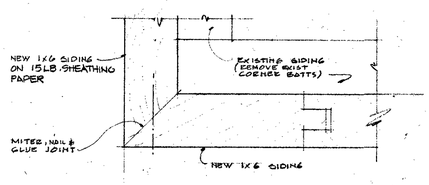
34/2 JAMB: HEAD SIM.
3"=1'-0"



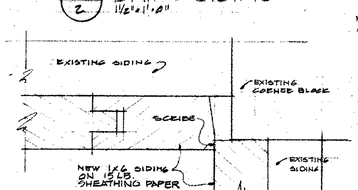
37/2 ELEV. @ DISPLAY CASE (IN CORRIDOR)
1/2"=1'-0"



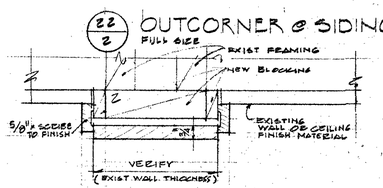
39/2 WOOD BASE DETAIL
3"=1'-0"



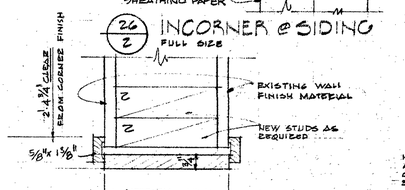
22/2 OUTCORNER @ SIDING
FULL SIZE



26/2 INCORNER @ SIDING
FULL SIZE



23/2 TRIM @ REMOVED PARTITION
3"=1'-0"



27/2 TRIM @ WING WALL
3"=1'-0"

GENERAL NOTES: CASEWORK

1. ALL SHELVING SHALL BE ADJUSTABLE UNLESS OTHERWISE NOTED
2. ALL COUNTERTOPS, SIDE & BACKSPLASHES & SPLASH EDGES SHALL BE FINISHED W/ LAMINATED PLASTIC UNLESS OTHERWISE SPECIFIED
3. ALL CASES, INSTALLED AGAINST WALL SHALL HAVE TYPICAL SIDE & BACKSPLASHES AT ADJACENT WALLS UNLESS OTHERWISE INDICATED.

REGISTERED ARCHITECT
JACK A. EDSON
EXPIRES 12-31-82
MEDFORD, OREGON
STATE OF OREGON

CASEWORK & DETAILS

EVERGREEN SCHOOL REMODEL ORIGINAL BUILD
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, ORE.G.

RRK	
JAE	
6518	

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

2/2

SOUTHERN OREGON STATIONERY

DIVISION A - SCHEDULE OF DRAWINGS

ARCHITECTURAL DRAWINGS:
1 Plan, Schedules & Elevations
2 Casework & Details
3 Specifications
4 Specifications

MECHANICAL DRAWING:
M-1 Plan & Schedules

ELECTRICAL DRAWING:
E-1 Plan & Schedules

DIVISION B - INVITATION TO BIDDERS

You are invited to bid (to include General, Mechanical and Electrical Work) for the project described in the specifications and accompanying drawings. Your attention is called to specific instructions regarding bid requirements under articles entitled Contractor's Liability Insurance, Guaranty Bonds, and Bid Guarantee in DIVISION 1, SPECIAL CONDITIONS.

Sealed bids in duplicate will be received by Nettie Schweinfurt, District Clerk at Josephine County School District offices, 706 N. W. "A" Street, Grants Pass, Oregon until 8:00 P.M., Pacific Daylight Time, Monday, August 7, 1967 for the remodel of the Existing Evergreen School located at Cave Junction, Oregon. Bids received after this time will not be considered. Bids will be opened and publicly read aloud at the above stated time and place.

Plans and specifications may be obtained after July 24, 1967 from the School District Office. One set of plans may be obtained by approved General Contractors upon deposit of $25.00. A limited number of additional sets or copies of individual drawings and specification pages will be available and may be obtained for the cost of reproduction.

Attention is called to the bidders prequalification requirements of Sections 279.012 to 279.024, inclusive, O.R.S., which must be filed with the Clerk of the School Board ten (10) days before the date of opening of bids and for which forms may be obtained from the District Office.

The successful bidder will be required, within ten (10) days after the award of the contract, to file Contract Security in accordance with the specifications and to execute the Contract in three counterparts, and to provide Contractor's Liability Insurance as specified.

DIVISION 1 - SPECIAL CONDITIONS

Section 1A - General Requirements

1. SPECIAL NOTE: "The General Conditions of the Contract for the Construction of Buildings, September 1963 Edition, Form A-201", issued by the American Institute of Architects, are hereby considered to be a part of these specifications and are to be included without waiver of any condition, except as hereinafter specified. These General Conditions may be obtained at the office of the School District.

2. SPECIAL CONDITIONS: These Special Conditions and Specifications herewith shall be subject to all the requirements of the General Conditions, Form A-201, except that these Special Conditions shall take precedence over and modify any pages or statements of the General Conditions and shall be used in conjunction with them as part of the Contract Documents.

3. COPIES OF DRAWINGS AND SPECIFICATIONS FURNISHED: Article 4 "Copies Furnished" shall be modified by adding the following: "The District will furnish the Contractor free of charge not more than eight copies of all drawings and specifications. The Contractor shall pay the cost of reproduction for all other copies of drawings and specifications furnished to him."

4. PROTECTION OF WORK AND PROPERTY: Article 12, "Protection of Work and Property" shall be supplemented as follows: At all times provide protection against weather - rain, storms, frost or heat, so as to maintain all new work, material, apparatus, furnishings and fixtures free from injury or damage. At end of day's work, all existing work likely to be damaged shall be covered. Any work damaged by failure to provide protection above required shall be removed and replaced with new work at Contractor's expense.

5. CONTRACTOR'S LIABILITY INSURANCE: Article 27, "Contractor's Liability Insurance" shall be modified by the following specific requirements: "The Contractor shall, throughout the life of this contract, maintain liability insurance as described in Article 27. The policy shall be written to protect the Owner, the Architect, and any one of their respective agents, and shall be placed with a surety acceptable to the Owner. Work shall not commence until required insurance has been obtained and approved by the Owner. If directed to do so, the Contractor shall furnish copies of insurance policies as required as well as a receipt evidencing full premium payment. The amounts of such liability insurance shall not be less than: (1) Bodily Injury Liability Insurance in an amount not less than One Hundred Thousand Dollars ($100,000) for injuries, including wrongful death to any one person and subject to the same limits for each person in an amount not less than Three Hundred Thousand Dollars ($300,000) on account of one accident. (2) Property Damage Insurance in an amount not less than Fifty Thousand Dollars ($50,000) for damage on account of any one accident, and in an amount not less than One Hundred Thousand Dollars ($100,000) for damages on account of all accidents.

6. GUARANTY BONDS: Article 30 "Guaranty Bond" shall be modified as follows: "The successful bidder must deliver to the Owner an executed Payment and Performance Bond in an amount equal to one hundred percent (100%) of the accepted bids as security for the faithful performance of the contract and the payment of all bills in connection therewith. The surety shall be approved by the State in which the project is located and the bond, written to comply in all respects with the provisions of O.R.S. Chapter 279, must be approved by the Owner prior to execution of the formal contract."

7. CLEANING UP: Article 44 "Cleaning Up" shall be supplemented as follows: "Remove all putty, dirt, paint, grease, etc. from all surfaces. Clean all finish tile and plumbing fixtures and thoroughly wash with soap and water. Clean all finish hardware. Immediately before turning the building over to the Owner wash and clean all glass, exposed aluminum window frames and clean all resilient floor coverings with an approved cleaning solution. Leave floors clean and ready for waxing by the Owner.

8. BID GUARANTEE: Bids shall be accompanied by a bid guarantee of not less than five percent (5%) of the amount of the bid, which may be a Bid Bond, certified check, or cashier's check made payable to the Owner. Such bid bond or check shall be submitted with the understanding that it shall guarantee that the bidder will not withdraw his bid for a period of thirty (30) days after the scheduled closing time for the receipt of bids; that if his bid is accepted, he will enter into a formal contract with the Owner in accordance with the Form of Agreement included as a part of the Contract Documents, and that the required Performance Bond will be given; and that in the event of the withdrawal of said bid within said period, or the failure to enter into said contract and give said bonds within ten (10) days after he has received notice of acceptance of his bid, the bidder shall be liable to the Owner for the full amount of the bid guarantee as representing the damage to the Owner on account of the default of the bidder in any particular hereof.

9. SUBSTITUTIONS: Bids must be based upon the specific articles and materials named in the specifications. Substitutions may be made ONLY under the following conditions:

   A. Seven or More Days Prior to Bid Opening: Prime bidders may submit to the Architect written requests for approval of articles or materials which they guarantee equal or superior to those specified. Such requests shall be accompanied by complete descriptions and technical data. Approval or rejection of the proposed substitution will be made by bulletins issued to all bidders.

   B. At the Time Bids are Received: Prime bidders may submit, on a separate sheet enclosed with the bid form, a list of proposed substitutions which they are willing to guarantee, and stating the additions to or deductions from bid prices in case substitutions are allowed. Technical data shall be submitted, as above. The Owner reserves the right to reject all such proposals, and they will not be used to determine the low bid.

   C. After the Contract is Signed: Approval of substitutions will be made only in exceptional cases where the Contractor submits evidence satisfactory to the Architect that, through no fault of his own, specified or otherwise approval items cannot be obtained in time to avoid delay to the work. In any case, substitutions are subject to the approval of the Architect.

10. SPECIFICATION WORDING: These specifications are of the abbreviated or "streamlined" type and frequently include incomplete sentences. Words such as "shall," "shall be", "the Contractor shall" and similar madatory phrases shall be supplied by inferences in the same manner as they are in a note on the drawings. The Contractor shall provide all items listed and perform all operations required, and shall furnish all labor, materials, equipment, services and incidentals required for their completion.

11. SPECIFICATION DIVISIONS: The specifications have been set up in Divisions conforming roughly to customary trade practice for the convenience of Contractor only. The Architect is not bound to define the limits of any subcontractors.

12. MANUFACTURER'S DIRECTIONS: All manufactured articles, materials, and equipment shall be applied, installed, connected, erected, used, cleaned and conditioned in accordance with manufacturers' directions unless otherwise specified.

13. COOPERATION:

   A. The Owner reserves the right to enter upon the premises, to use same, and to have work done by other contractors, or to use parts of the work of this Contractor, before the substantial or final completion of the work, it being understood that such use by the Owner in no way relieves the Contractor from full responsibility for his entire work until final completion of his contract.

   B. If, in the judgment of the Architect, it becomes necessary at any time during the progress of the work, in order to accelerate the work of this Contractor, or the work being done by others under separate contracts, this contractor, when ordered and directed by the Architect, shall cease his work at any particular point temporarily and transfer his men to such other point or points, and execute such portions of his work as may be required by the Architect.

14. WHERE REQUIRED: The locations of materials or articles given in the specifications under the heading of "Where Required" is for a guide and may not include every location where such materials or articles are required. The Contractor shall consult the drawings for additional locations where such materials or articles are required and shall provide them as specified for the listed items.

15. EXAMINATION OF SITE: All bidders are required to visit the site of the work and to thoroughly inform themselves as to existent physical conditions. They shall inform themselves as to conditions bearing upon transportation, disposal, storage of materials, availability of water, electric power, labor, etc. Any failure of a bidder to fully acquaint himself with both site and local conditions shall not relieve him from the responsibility for estimating properly the cost of successfully performing the work.

16. REPLACEMENT OF DAMAGED GLASS: The Contractor shall replace before completion of project all damaged, broken or scratched glass of every description.

17. TIME OF COMPLETION: Each bidder shall state in his bid, in the space provided therefore in the bid form, the number of consecutive calendar days which he will require to substantially complete the work, and shall fully complete it not more than 30 calendar days thereafter.

18. SUBSTANTIAL COMPLETION: "Substantial Completion" where used in the Contract Documents shall be understood to mean the date when the Architect issues the final certificate of payment.

19. GUARANTEES: Unless otherwise stipulated, the General Contractor shall provide the Owner at the completion and acceptance of the project with a letter of guarantee stating that the work will be free from defects for a period of one year and that if such defects do occur, he will correct the work and any resultant damage to other work to the Owner's satisfaction without further payment.

20. WORKMANSHIP: It is the true and specific intent of these specifications that workmanship on all phases of the construction and embracing all the trade sections shall be of high quality performed by workmen skilled in their trade and performing their work only according to the Standards of Best Practice of the trade.

21. MATERIALS: All materials shall be manufactured within the continental limits of the United States unless otherwise approved as per 110 of Special Conditions.

22. FIRE INSURANCE: The Owner will maintain fire insurance on the structure and on materials stored on the site or incorporated into the structure at all stages of completion to the full replacement value thereof.

23. PREVAILING WAGE RATES: Special attention is called to the provisions of O.R.S. 279.350, O.R.S. 279.352 and O.R.S. 279.354 concerning the payment of prevailing wages on public work in the various trade categories which will be required under this contract. Monthly affidavits certifying payment of prevailing wages will be required of the Contractor on the project.

24. SUPERINTENDENCE SUPERVISION: The same superintendent shall be maintained continuously on the project from beginning to completion unless a change is approved by the Owner.

Section 1B - Allowances

1. GENERAL CONDITIONS: The General Conditions and Special Conditions shall govern this section of the work.

2. WORK INCLUDED: Finish Hardware, Division 8.

DIVISION 2 - SITE WORK

Section 2A - Demolition

1. GENERAL:
   A. Demolition shall include all existing portions of structures noted to be demolished.
   B. This work shall include, but not be limited to Building "F".
   C. Obtain and pay for all permits as required.
   D. Protect and maintain all conduits, drains, sewers, pipes and wires that are to remain on the property.
   E. Provide, erect and maintain all fences, bracing, shoreup, lights, barricades, warning signs, and guards as necessary for the protection of streets, sidewalks, curbs, utilities, equipment on the site and adjoining properties.
   F. Remove all protection when work is complete and/or when authorized to do so by the Architect.

2. CLEAN-UP:
   A. Debris shall not accumulate on the site. Salvable material, not reused in construction, shall be removed. Sale of material on the site is prohibited.
   B. Removal shall be in such a manner as to prevent spillage. Pavements and areas adjacent to the site shall be kept clean and free from mud, dirt and debris at all times.

DIVISION 3 - CONCRETE - (None in this Project)

DIVISION 4 - MASONRY - (None in this Project)

DIVISION 5 - METALS - (None in this Project)

DIVISION 6 - CARPENTRY

Section 6A - Carpentry and Millwork

1. GENERAL CONDITIONS: The General Conditions and Special Conditions shall govern this section of the work.

2. WORK INCLUDED: All carpentry, millwork and other related items including, but not limited to, the following principal items:
   A. Rough Carpentry
   B. Finish Carpentry and Millwork
   C. Finish Hardware Installation
   D. Wood Door and Frame Installation

3. WORK BY OTHERS:
   A. Gypsum Wallboard, Division 9 - Finishes
   B. Painting - Division 9 - Finishes
   C. Wood Doors - Division 8 - Doors, Windows and Glass

4. GENERAL - Lumber Grading Rules:
   A. Soft Woods: West Coast Lumbermen's Association (W.C.L.A.) Standard Grading and Dressing Rules No. 15.
   B. Soft Wood Plywood: Douglas Fir Plywood Association Rules (D.F.P.A.).
   C. Hardwoods: National Hardwood Lumber Association Rules (N.H.L.A.).
   D. CEDAR: Western Pine Association Standard Grading Rules.

5. MOISTURE CONTENT: Percentage of Weight of Oven Dry Wood:
   A. All lumber specified to have a maximum moisture content of 16 percent or less shall be kiln dried (K.D.).
   B. Furnish moisture content certificates, if requested by the Architect, for any items of lumber specified. Such certificates shall be in strict accordance with W.C.L.A. Standard Certification practice.
   C. In the absence of a stated maximum allowable moisture content for items of lumber specified to be kiln dried, W.C.L.A., paragraph 2g (aa) and (bb) shall govern.
   D. Moisture content for interior finish shall average 10 percent with no portion of a shipment exceeding 15 percent.
   E. Moisture content for rough and framing lumber, shall average not over 19 percent with no portion of a shipment exceeding 24 percent.
   F. Moisture content for rough and framing lumber, shall average not over 19 percent with no portion of a shipment exceeding 24 percent.

6. ROUGH HARDWARE:
   A. General: Provide as required for proper installation of Carpentry and Millwork. Types, sizes and shapes as required to hold members securely together, in place or to other materials. Exposed exterior hardware shall be galvanized after fabrication.
   B. Washers and Nuts: Provide washers and nuts for all bolts for securing wood together and to other materials.

7. FINISH HARDWARE INSTALLATION: General - Care for and install all finish hardware provided under Section 8B. Adjust movable parts of all finish hardware to operate perfectly at time of final acceptance. Make further adjustments as required within one year after completion. Tighten and adjust all existing finish hardware.

8. ROUGH CARPENTRY
   A. Material: All material shall be Douglas Fir, Standard and Better, surfaced 4 sides, unless otherwise noted.
      (1) New Plates on existing concrete footings and slabs: Pressure Treated Douglas Fir Standard Full Cell pressure treatment with "Chemonite" or approved equal. Construction par. 122b and 123b.
      (2) Studs: Construction par. 122b and 123b.
      (3) Blocking, bucks, furring, stripping and grounds: Standard par. 122c and 123c.
      (4) Sheathing Paper: 15 pound asphalt impregnated building paper.
   B. Construction:
      (1) General: Erect all framing and other wood construction in a strong, substantial and workmanlike manner. Exercise care and foresight in laying out to prevent conflicts with other trades.
      (2) Studding: Wood stud walls to be laid out true to line, square and plumb, studs 16 inches o.c. unless otherwise indicated. Studs and blocking shall be placed to provide adequate nailing for surface materials. Double at all openings, triple at corners and intersections. Provide wall partitions with double top plates, single floor plate, horizontal nailers, bracing and blocking, doubled heads all securely nailed. Arrange plates to form continuous horizontal ties, splice single plates, stagger ends of double plates. Splice plates abutting at corners.
      (3) Grounds, Stripping, Furring and Blocking: Shall be furnished and installed to provide proper backing to receive all mouldings, frames, gypsum wallboard, plywood and other materials, including tissue holders, mirrors, door stops, etc.

9. FINISH CARPENTRY AND MILLWORK
   A. General: Take necessary measurements at building to assure proper fit of all work. Execute in strict conformity with details. Leave all exposed surfaces ready for painter's finish.
   B. Shop Drawings: Millwork to furnish shop drawings in triplicate for approval of Architect before manufacture.
   C. Millwork Storage and Protection: All millwork to be protected and kept under cover in transit and at the job site, and shall not be delivered before it is required for the proper conduct of work.
   D. Workmanship and Assembly: Work shall be assembled at the mill insofer as it is practical, and delivered ready for erection. When it is necessary to cut and fit on the job, the material shall be made with ample allowance for cutting. Moldings shall be true to detail, cleanly cut and sharp. All exposed molds and surfaces shall be machine sanded to an even, smooth surface, ready for finish. Scribing, mitering and joining shall be done accurately and neatly. Intersecting molds at in-corners shall be neatly coped and not mitered where possible. Use finish nails unless otherwise noted. Set nails for puttying. Adjust doors, etc. to operate perfectly at the time building is accepted.

10. WOOD MATERIALS FOR FINISH CARPENTRY AND MILLWORK
   A. Exterior Siding and Fascias: Western Red Cedar "C & Better", 1 x 6 T & G, Square edge with resawn face.
      (1) Apply siding vertically, full length boards, apply fascia boards horizontally, 10' lengths minimum, stagger and miter joints, miter outside joints.
      (2) Fasten siding and fascia by blind nailing with hot dipped galvanized casing nails @ 2' - 0" o.c. maximum, set nails.
   B. Exterior Trim (including stops @ aluminum windows) and Batts: Western Red Cedar, "C & Better" square edge with resawn face and edges.
   C. Resawn Plywood: Rough sawn Exterior Grade DFPA, N-C 3/8 inch thick; apply with face grain lengthwise, nail with 6d galvanized siding nails @ 6 inches o.c. @ edges and intermediate supports.
   D. Exterior and Interior Door Frames and Trim and all lumber unless specified otherwise: "B & Better" finish, K.D. Douglas Fir, par 101-b.
   E. Interior Fir Plywood: Two sides exposed - Interior A-A, D.F.P.A. One side exposed - Interior A-D, D.F.P.A.
   F. Hardboard: Georgia-Pacific "Standard Hardboard," surfaced both sides, 48" x 96" x 1/4" thick with beveled edge or approved.
   G. Interior Custom Cabinet Work:
      (1) General: Methods, details and features of construction, joinery, machining and assembly shall be optional with the manufacturer, but where applicable, must equal the minimum requirements of Conventional Casework, Section 17, for grade specified also equal the typical details as shown on pages 49, 50 and 51 of the W.I.C. Manual. W. I. G. Reinspection procedure shall be used.
      (2) Materials: Exposed portions of cases and cabinets shall be finish solid birch stock or rotary unselect birch veneer on particle board core as applicable. Interior of cabinets behind doors shall have rotary unselect Douglas Fir Plywood.
      (3) Cabinet Doors: 3/4 inch thick doors - Modified W.I.C. Type 5, flush rotary unselect birch veneer through ply construction with "Timblend" core. Tee banded edges with 5/8 inch birch bands compatible with face veneer.
      (4) Shelves:
         a. General - Casework shelves shall be 3/4 inch thick built-up solid stock birch or 3/4 inch thick rotary unselect birch plywood with birch edge band unless otherwise noted. Shelves longer than 3 feet 0 inches shall be not less than 1 inch net in thickness.
         b. Fixed Shelves - Shall be rabbeted into sides and dividers.
         c. Adjustable Shelves: Shall be supported on let-in standards No. 225 and supports No. 256, K & V or approved.
         d. Shelves Behind Doors - May be rotary cut Douglas Fir Plywood, Tee edge banded on face edge.
      (5) Counters, Backsplashes and Sidesplashes: 3/4 inch thick plywood INT B-D, D.F.P.A., counters at sinks EXT B-D, D.F.P.A.
      (6) Bases: Provide for 4-1/4 inch high x 3 inch deep toe space, consisting of back rail with cross rails (sleepers) at ends, dividers @ 30 inches o.c. maximum.
      (7) Dividers: Where grooved two sides for shelf standards: 1" net thickness. Dividers specifically noted hardboard shall be 1/4 inch thick G-P "Standard Hardboard" or approved.
      (8) Backs: 1/4 inch thick, unselect rotary fir plywood INT A-D, D.F.P.A. for all concealed locations, unless otherwise noted.
      (9) Scribing: Provide at walls, ends, fronts and backs. Provide scribe mold at ceilings and walls as required.
      (10) Finish: All exposed surfaces including edges and moulded contours shall be finish sanded to a smooth even surface at the mill ready for painter's finish.
      (11) Wood Door and Frame Installation: All doors will be closely fitted with narrow margins
         Top and Side Edges: 1/16 inch
         Bottom Edge: 3/8 inch
         Jambs shall be set plumb and true.

DIVISION 7 - MOISTURE PROTECTION

Section 7A - Caulking

1. General Conditions: The General Conditions and Special Conditions shall govern this section of the work.

2. WORK INCLUDED: Joints around all exterior doors and windows; elsewhere where indicated or required.

3. MATERIAL: Use A.C. Horn Company's "Vulcatex", Minwax No. 1 Caulking Compound or approved. Include primers and all necessary oakum as recommended by Caulking Compound Manufacturer. Use type of caulking recommended for gun or blade application by manufacturer.

4. APPLICATION: As recommended by Caulking Compound Manufacturer.

5. JOINT FINISH AND CLEANING: Neatly point joints on flush surfaces with beading tool; remove excess material. Caulked joints shall be free of wrinkles, smooth, watertight; joints which are more than 3/4 inches deep from outside face shall be caulked solid with untarred oakum to within 3/4 inches of outside face before applying caulking compound. Immediately clean adjacent areas of smears of compound due to the caulking operation. Leave in clean, neat condition.

6. GUARANTEE: Guarantee that caulked joints will remain watertight, will not run, crumble or otherwise become defective for a period of two years from date of final acceptance. Repair work which becomes defective during this period along with other work damaged thereby without extra cost to the Owner.

DIVISION 8 - DOORS, WINDOWS & GLASS

Section 8A - Exterior and Interior Wood Doors

1. GENERAL: The General Conditions and Special Conditions shall govern this section of the work.

2. WORK BY OTHERS:
   A. Finish Hardware Installation - Division 6
   B. Door Installation - Division 6

3. FLUSH SOLID CORE WOOD DOORS: Good Grade No. 1 Unselected Birch Veneer with hardwood side edges. Weldwood's "Stayed Lumber Core Doors". Roddis "Standard Stayed Core Door" or approved.

Section 8B - Finish Hardware

1. GENERAL: The General Conditions and Special Conditions shall govern this section of the work.

2. HARDWARE ALLOWANCE: The General Contractor shall allow the sum of $375.00 in his base bid to cover the cost of the finish hardware materials. The above sum is for finish hardware materials only and does not include installation costs which shall be included in the Base Bid by the General Contractor.

REGISTERED ARCHITECT
JACK A. EDSON
MEDFORD, OREGON
STATE OF OREGON

SPECIFICATIONS

EVERGREEN SCHOOL · REMODEL · ORIGINAL · BUILDING
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

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Section 8B - Finish Hardware (Continued)

3. SELECTION: The Architect and/or Owner shall select the finishing hardware and will subsequently take bids when desired, then authorize and direct the General Contractor to place his order for such hardware as selected.

4. ADJUSTMENT OF COST: Should the cost of his hardware as selected be more than the allowance sum, the Owner shall pay the General Contractor such difference, but should the cost be less than the allowance sum, the General Contractor shall credit the Owner with this difference.

5. FINISH HARDWARE INSTALLATION (General Contractor): The General Contractor shall care for and install all hardware provided under this section. Adjust movable parts to operate perfectly at time of final acceptance.

Section 8C - Metal Windows

1. GENERAL: The General Conditions and Special Conditions shall govern this section of the work.

2. WORK INCLUDED: All aluminum windows and other related items as shown on the drawings.

3. WORK BY OTHERS:

   A. Glass and Glazing, division 8

   B. Caulking, Division 7

4. MATERIALS:

   A. Frame - Members shall be aluminum alloy extruded in shapes specifically designed for window construction. The alloy used shall be 6063 T5 and of suitable temper for use in aluminum windows. Extrusions shall be free from defects impairing strength and durability. Frame and muntin sections shall be not less than 1-1/2 inches deep. Frame shall be unequal leg channel that will provide anchorage at head and jambs. All frames to be complete and standard square edge roll formed aluminum glazing beads. Corners of frames and ventilators shall be caped and mechanically fastened with exposed surfaces finished flush. All frames, ventilators, and mullions shall receive Dura-Bronze coating average thickness 0.4 to 0.6 mills. All screws, bolts and other parts shall be of aluminum or of material not harmful to aluminum under normal conditions of service.

   B. Manufacturer: Mercer Steel Company 1.50, Soule Steel Company or approved.

5. SHOP DRAWINGS: Provide shop drawings in triplicate for approval prior to fabrication.

6. ERECTION: All windows shall be set plumb, square, level and true with their respective openings. Like units of each window or battery of windows shall finish in the same plane and with rails and like members aligned.

7. FINAL ADJUSTMENT: After the work of glazing (by others) has been completed, the entire window installation shall be inspected for the work under this section.

8. PROTECTION: The General Contractor shall be responsible for protecting the aluminum windows during the construction process and for cleaning them at completion of building. Any windows arriving at the job site in a damaged or abraided condition will be rejected.

Section 8D - Glass and Glazing

1. GENERAL: The General Conditions and Special Conditions shall govern this section of the work.

2. WORK INCLUDED: All glass and installation.

3. MATERIALS:

   A. Glass - All glass shall be manufactured by the Pittsburg Plate Glass Company, Libby-Owens-Ford or approved. Glass shall bear identifying labels until approved by the Architect. Glass shall be 3/16" sheet, 1/4" polished plate, 7/32" diffusing ("stippled" pattern as manufactured by Libby-Owens-Ford) as designated on the drawings.

   B. Putty - Armstrong Company's "Armglaze - Type G Knife Grade" in special color to match the aluminum work.

   C. Glazier's Points - Standard zinc triangles or approved equal.

4. WORKMANSHIP: Glazing shall be done in a workmanlike manner and in accordance with the glazing procedures as outlined in the Glazing Manual of the Flat Glass Jobbers Association.

5. CLEAN UP: Clean all glass before final acceptance of the work, replace all scratched or damaged glass.

DIVISION 9 - FINISHES

Section 9A - Gypsum Wallboard

1. GENERAL: The General Conditions and Special Conditions shall govern this section of the work.

2. MATERIALS:

   A. Gypsum Wallboard: Tapered Edge Gypsum Wallboard, 5/8" thick Gold Bond "Fire Shield, "U.S. Gypsum's "Sheetrock Firecode 60" or Bestwall "Firestop."

   B. Tape: U. S. Gypsum's "Perf-A-Tape" or approved equal.

   C. Cement: U. S. Gypsum's "Perf-A-Tape" cement or approved equal.

   D. Fasteners: Shall be U.S.G. Drywall screws as recommended by the manufacturer, or U.S.G. 1-3/8" annular ring nails.

3. WORKMANSHIP: Gypsum Wallboard and backing board shall be installed by workmen familiar with the proper installation of the product.

4. INSTALLATION: Supports not to exceed 16 inches o.c. Erect in accordance to manufacturer's recommendations, fastening all gypsum wallboard and backing board to supports with fasteners not over 7 inches o.c. on side walls. Exposed gypsum wallboard shall be tapered edge with fasteners spaced no more than 3/8 inch from edges. All heads set, taking care not to break surface of paper and left ready for taping.

5. TAPING: Follow the taping directions recommended by the wallboard manufacturer.

6. METAL ACCESSORIES: Provide USG 200-B metal trim at intersection of wallboard with other materials or at termination of wallboard. Provide USG 102 "Dur-A-Bead" corner beads unless otherwise noted.

Section 9B - Resilient Floor Coverings

1. GENERAL: The General Conditions and Special Conditions preceding this section shall govern this division of the work.

2. WORK BY OTHERS: Final Floor Cleaning, Division 1.

3. MATERIALS:

   A. Asphalt Tile: Kentile, Flintkote or approved, size 9 x 9 x 1/8 inch thick, match existing floor colors.

   B. Rubber Base: approved "Rubber Cove Base", set-on type in standard thickness 4 inch height. Color: Black.

Section 9C - Plastic Laminate Work

1. GENERAL: The General Conditions and Special Conditions shall govern this section of the work.

2. MATERIALS: 1/16" General Purpose Grade "Formica", "Micarta", "Textolite" or approved.

3. INSTALLATION: Install covering material in strict accordance with manufacturer's specifications using waterproof cement. Use full size sheets. Joints shall be at approved locations only and shall be hairline butted. Top of backsplashes and side splashes shall be "self-faced". Countertop edges, unless otherwise indicated on the drawings, shall be "self-faced."

4. CLEANING: Leave all surfaces thoroughly clean of all marks.

Section 9D - Painting

1. GENERAL: The General Conditions and Special Conditions shall govern this section of the work.

2. WORK INCLUDED: All painting and other related items including, but not limited to, the following principal items:

   A. General Painting Building "F".

   B. Preparation of galvanized surfaces to be painted and repainted.

   C. Miscellaneous Painting.

3. WORK BY OTHERS:

   Factory furnished items, shop and/or prime coat on certain items are specified in other divisions. Consult all divisions in detail.
   Cleaning of Class, Division 1.

4. GENERAL REQUIREMENTS:

   A. Finished Spaces: Wherever in the specifications the words "Finished Spaces" are used, it shall be construed to mean those spaces listed by name or number in the Finish Schedule or shown on the drawings unless specifically noted unfinished.

   B. Colors, Sheen and Texture: Color, sheen and texture for all coats will be selected by the Architect from samples prepared by the Painting Contractor. Do no work until samples have been approved.

   C. Delivery of Materials: In unbroken packages, manufacturer's original labels thereon.

   D. Preparation of Zinc Coated or Galvanized Steel: Prior to applying prime coat, all zinc coated or galvanized metal shall be degreased and prepared for painting with Neilson Chemical Company's "Calvaprep" in strict accordance with manufacturer's directions.

5. APPLICATION:

   A. General: Surfaces to be painted shall be clean and dry and free from all foreign matter, grease, oil and rust. Do not apply finishes to surfaces unless dry enough to receive the finish. Do no work when an injurious amount of dust or insects is present. Do no exterior painting during rainy or freezing weather or while surfaces are damp. Avoid painting surfaces while they are exposed to hot sun. See that proper temperature and ventilation are maintained for inside work. If surfaces are not in proper condition for painting work, the Contractor shall notify the Architect before proceeding with any work, otherwise, he will be held responsible for any poor work caused by improper surfaces. Application of first coat of paint specified herein constitutes acceptance of the surface by the Painter.

   B. Workmanship: Highest quality, performed by skilled mechanic to Architect's satisfaction. Fill all cracks, holes and other imperfections with approved material such as apackle, crack filler or putty. Use oil free putty, colored to match finish on all stained, varnished or natural finished wood work. Fill nail holes and minor imperfections after priming. Use approved oil base putty, colored to match final coat, for painted work. Seal sap and knots in painted work before priming with an approved knot sealer such as W.P. Fuller Paint Company's Knot Sealer Number 9689. Sandpaper interior work before coats as required to produce smooth, even surface for finish coat. Spread material evenly, without runs or sags. Vary color of successive coats slightly to prevent skipping. Cut sharp lines against glass and other materials. Each coat must harden before succeeding coat is applied. Rub paste wood filler, when used, across the grain as filler sets, then sandpaper to smooth surface.

   C. Texture:

      (1) Brush: All painting shall be done with a brush unless otherwise specified or approved.

      (2) Roller: All painting on gypsum board surfaces, may at Contractor's option be applied with a roller.

   D. Defective Painting Work: Repair painting work damaged during construction. At completion of work entire job in first-class condition.

6. MATERIAL:

   A. Painting: Pittsburgh Paint Company's, Pratt and Lambert, Inc!, Martin Senour's, Rodda Paint Company's, Bishop Conklin's, Olympic Stained Products Company's, Sherwin-Williams Company's or Iverson's or approved.

   B. Miscellaneous: Linseed oil shall be pure raw or boiled linseed oil. Turpentine shall be pure gum spirits of turpentine. Mineral thinner, drier, colors in oils and colors for non-oil base paints, crack fillers and spackle shall be of approved standard brands.

   C. Putty: Putty for painted work - Rodda Paint Company's No. 871, White lead paint. Putty for stained and/or varnished or natural finished work - approved oil free putty or plastic wood to colors required.

7. PRIMING AND BACKPRIMING

   A. Exposed Exterior Woodwork to be Painted: Prime one coat of Pittsburgh Paint Company's No. 1-201, Sun-Proof Exterior Control Primer on all surfaces before installation, unless otherwise specified.

   B. Interior Wood Finish to be Stained and/or Varnished: Backprime one coat of Pittsburgh Waterspar Natural Wood Seal No. 830320. Use great care so as not to get priming paint or finger marks on face of finish and plywood to be stained and varnished.

   C. Interior Wood Finish and Plywood to be Painted: Prime one coat of Pittsburgh Paint Company's 54-255 Waterspar Undercoater on all surfaces before installation unless otherwise specified.

8. Exterior Painting

   A. Exterior Woodwork to be Painted (Doors and new and old trim @ Elevations "A", "C" and "D".

      (1) Prime Coat: Rodda's #155 Exterior Control Primer
      (2) Body Coat: Rodda's #130 Exterior Trim Paint
      (3) Finish Coat: Rodda's 100% Pure Paint

   B. Exterior Woodwork to be stained: Includes, but not limited to Exterior Elevations "A", "C" and "D" (New soffits , siding and fascias):

      One coat of Olympic Linseed Oil Base Stain, 4 sides, prior to applying to building. One coat after application.

   C. Exterior Metalwork - Old Work (Spot Prime and Finish)

      (1) Prime Coat: Shop coat specified in other divisions or Pittsburgh Paint Company's No. 8-2 Ironhide Inhibitive Red Primer for non-galvanized work and Pittsburgh Paint Company's No. 8-10 zinc dust galvanized iron primer for galvanized work. Remove rust spots and touch up abrasions to shop coat before applying body coat.

      (2) Body Coat: Pittsburgh Paint Company's Ironhide Metal Protective Paint reduced as recommended by the manufacturer.

      (3) Finish Coat: Pittsburgh Paint Company's Ironhide Metal Protective Paint as it comes from the manufacturer.

9. Interior Painting

   A. New Gypsum Wallboard and hardboard indicated semi-gloss enamel (S.G.E.) in the Finish Schedule: Two Coats:

      (1) Prime Coat: Rodda's #7700 "Roseal" PVA Sealer with ground walnut shells.

      (2) Finish Coat: Rodda 7841 Eggshell.

   B. Woodwork, Wood Trim and Interior Wood Doors indicated semi-gloss enamel (S.G.E.) in the Finish Schedule: New Work - Three Coats; Old Work - Two Finish Coats:

      (1) Prime Coat: Pittsburgh Paint Company's No. 54-255 Waterspar Undercoat.

      (2) Body Coat: A mixture of 50 percent Pittsburgh Paint Company's Enamel Undercoater No. 54-255 and 50 percent Pittsburgh Paint Company's Wallhide Semi-Gloss Enamel, reduced as recommended by the manufacturer.

      (3) Finish Coat: Pittsburgh Paint Company's Wallhide Semi-Gloss, as it comes from the manufacturer.

   C. Existing hardboard indicated Flat Wall Paint (FWP) in the Finish Schedule - Two coats:

      (1) Body Coat: Rodda's Latex, reduced as recommended by the manufacturer.

      (2) Finish Coat: Rodda's Latex, as it comes from the manufacturer.

   D. Custom Cabinets and all exposed portions of casework shall be three coats:

      (1) Stain: Rodda's Modern Wood Stains, color as selected.

      (2) Prime Coat: Rodda's #66 high solids lacquer sanding sealer.

      (3) Body Coat: Rodda's high solids clear lacquer.

      (4) Finish Coat: Rodda's high solids clear lacquer.

DIVISION 10 - SPECIALTIES

Section 10A - Tackboard @ Display Case

1. GENERAL: The General Conditions and Special Conditions shall govern this division of the work.

2. MATERIAL: 1/4" vinyl surfaced, burlap backed "Color-Cork" Gotham, Weber Costello or approved.

3. INSTALLATION: Installation shall be by the manufacturer's recommended procedure.

DIVISION 11 - (None in this specification)

DIVISION 12 - (None in this specification)

DIVISION 13 - (None in this specification)

DIVISION 14 - (None in this specification)

DIVISION 15 - MECHANICAL - (See Mechanical Drawing M-1)

DIVISION 16 - ELECTRICAL

1. General - The General Conditions and Special Conditions shall govern this division of the work.

2. Perform the electrical work shown or indicated on the drawings, including all materials, labor and incidentals to complete the work in a safe, finished, neat and workmanlike manner.

3. Conceal all wiring except as noted on the drawings. Use electrical metallic tubing except under floors, in the earth, or concrete use galvanized rigid conduit. Minimum wire size is #12 AWG copper with code grade insulation, except where noted on the drawings. In those cases where exposed conduit is permitted, the installation shall be parallel to or at right angles with the structural members of the building, and securely fastened. Where exposed to public view, the conduits shall be painted the same color as the surrounding material.

4. All electrical equipment shall be new and U.L. approved. The Contractor shall guarantee the materials and workmanship for a period of one year after acceptance for normal usage, and shall replace or correct any defects promptly without cost to the owner.

5. The Electrical Contractor shall inspect the site to determine the existing working conditions; comply with all electrical code requirements, latest revisions of each; obtain all permits and inspections and include the cost in the contract sum.

6. All fixtures shall be cleaned and complete with lamps. Connect electrically all equipment shown. The Electrical Contractor shall furnish and install the magnetic starters and disconnects to the mechanical equipment and make the power and control wiring connections as indicated. Fans and motors shall be furnished and mounted by the mechanical contractor.

7. The work shall not include furnishing meters, current transformers, fans, motors, kitchen equipment, heating and ventilating equipment, portable plug-in equipment and similar type items unless indicated on the drawings.

8. Incandescent lamps shall be G.E., Sylvania, or Westinghouse, 125 volts of the wattage indicated. Fluorescent lamps shall be cool white, G.E., Sylvania, or Westinghouse. Ballasts shall be high power factor, CBM or ETL either fused dry type or G.E. Bonus line. Sound rating shall be "B" or better and the fixture shall be considered defective if the noise is excessive.

9. The Electrical Contractor shall return a marked up set of clean, neat, legible drawings to indicate any changes or deviations necessary for the work as indicated. The Contractor shall furnish at the completion, a hard bound folder of catalog data of all equipment used on the job for future use by the school district for maintenance or replacement of equipment.

10. All cabinets, safety switches, magnetic starters, time switches, and other apparatus used for the operation and control of circuits, appliances, and equipment installed under this contract shall be properly identified by means of neatly stenciled or printed labels or embossed nameplates.

11. The electrical feeders, panels, branch circuits shall be of the voltage as indicated on the drawings.

12. Switches and receptacles shall be as indicated on the drawings. Cover plates shall be stainless steel in finished areas, in unfinished areas they may be galvanized.

13. No beams shall be cut without specific approval of the Architect. This Contractor shall call to the attention of the Architect any errors or discrepancy coming to his attention, and shall not proceed with the work with any questionable items until clarification has been made.

14. Work to include the following:

   A. Replace incandescent lighting fixtures with fluorescent fixtures as indicated on the drawings.

   B. Install Minneapolis -Honeywell clocks, buzzers, and bells as indicated, and connect to master clock and inter-connect panel in the administration building.

   C. Provide boxes with blank covers and conduit stubs to the attic for intercommunications outlets.

   D. Reconnect, relocate, remove, reinstall and rewire existing fixtures and devices as required for the new construction.

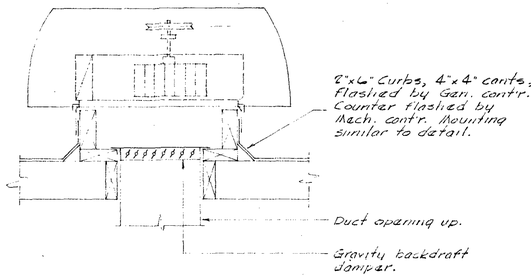
   E. Connect feeders and branch circuits as required and as indicated on the drawings.

REGISTERED ARCHITECT · JACK A. EDSON · MEDFORD, OREGON · STATE OF OREGON

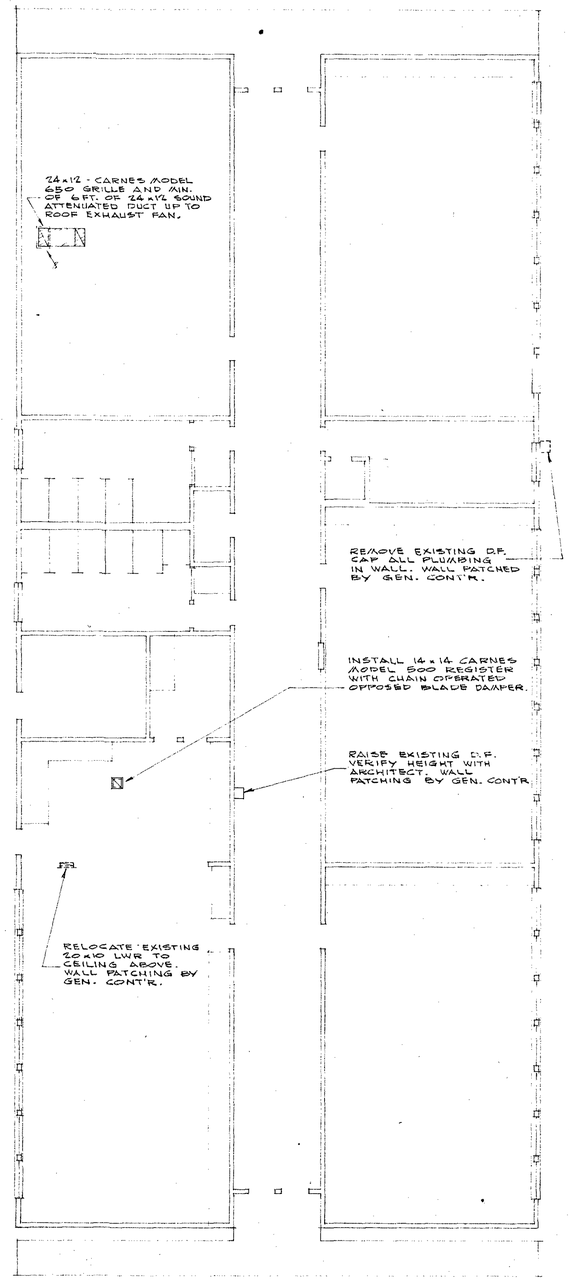
SPECIFICATIONS

EVERGREEN SCHOOL - REMODEL, ORIGINAL BUILDING
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON



ROOF EXHAUST FAN
INSTALLATION DETAIL
NOT TO SCALE



FLOOR PLAN
SCALE: 1/8"=1'-0"

SPECIFICATIONS:

GENERAL PROVISIONS:
Instruction to bidders, General Conditions and Supplementary General Conditions are a part of these specifications.

SCOPE OF WORK:
Provide complete Mechanical system as shown.

ROUGHING-IN:
Includes roughing-in and final connection for equipment furnished under other sections or contracts, in accordance with roughing-in drawings.

DRAWINGS:
Examine all Architectural, Electrical and Structural drawings.

WORK COOPERATIVE:
Coordinate work for rapid completion of the entire project.

REGULATIONS AND PERMITS:
Conform with applicable codes and regulations. Obtain and pay for all permits, licenses and certificates of approval.

MATERIAL:
All materials, full weight, standard in every way, and in first-class condition, and new. Capacities, sizes and dimensions are minimum.

APPROVALS:
Trade names and catalog numbers as stated herein are intended to indicate grade or quality of equipment and materials desired. Request for approval of material and equipment submitted in triplicate to the Architect. See Supplementary General Conditions.

WORKMANSHIP:
Work by competent workmen in manner acceptable to Architect.

GUARANTEES:
Guarantee against defects in materials or workmanship for one-year from date of final acceptance of building. Replace free of expense to Owner.

FIELD MEASUREMENTS:
Verify measurements at building site and report discrepancies to Architect before beginning work.

SHOP DRAWINGS:
Submit shop drawings in accordance with General and Special Conditions, and secure approval prior to fabrication and/or installation of equipment.

CUTTING AND PATCHING:
Required cutting or patching of construction only under direction of Architect. Patch as directed.

ROOF EXHAUST FAN:
Description - Full housed belt-driven centrifugal type enclosed scrowl, Fiberglass housing of weatherproof ventilated type, removable for service to motor, bearings and belt. Adjustable sheave on motor for fan speed adjustment, Integral motor disconnect provision in motor housing. Complete with manual switch.
1/4 HP motor.
Capacity- 1000 CFM. Pace CEE-13 Skycap.
Manufacturer - Pace CEE-Skycap, equal Western Blower.

REGISTERED PROFESSIONAL ENGINEER 5133 OREGON JULY 9, 1965 THEODORE W. RONEY

REGISTERED ARCHITECT JACK A. EDSON MEDFORD, OREGON STATE OF OREGON

MECHANICAL PLAN & SPECIFICATIONS

EVERGREEN SCHOOL REMODEL - ORIGINAL BUILDING
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

M1

SYMBOLS

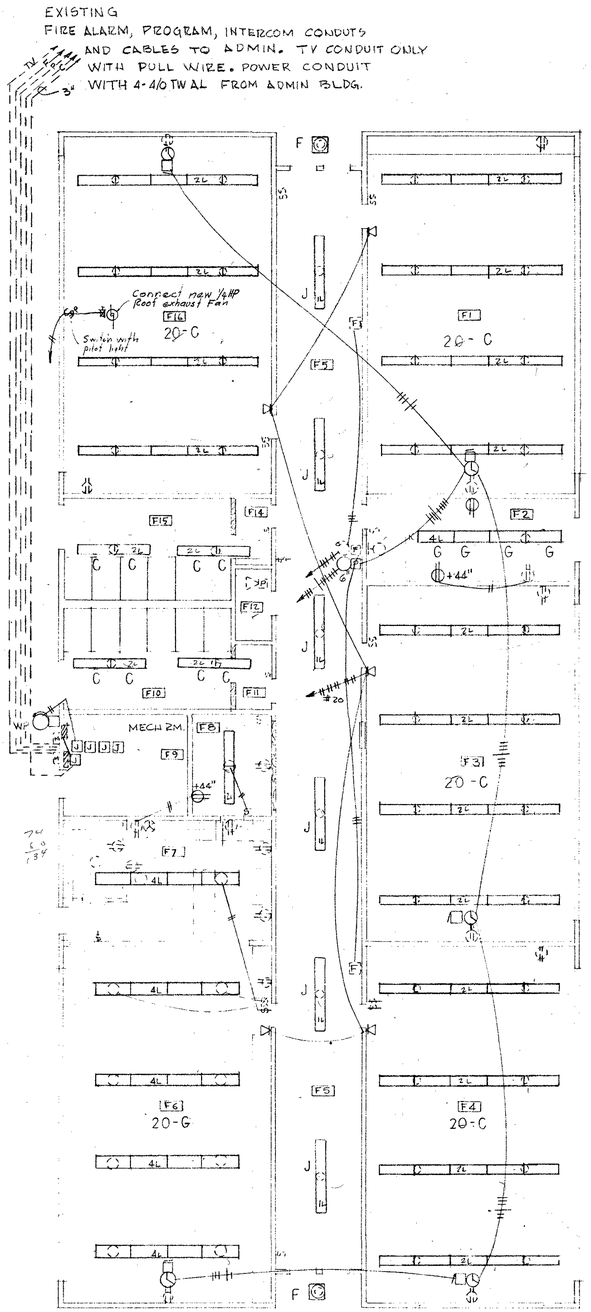
- EXISTING DUPLEX CONVENIENCE RECEPTACLE. CHANGE TO 3WIRE GROUNDING TYPE
- EXISTING WALL SWITCH
- WALL SWITCH QUIET TYPE, SPEC. GRADE 20AMP 120VOLT. IVORY COLOR. SMOOTH PLASTIC COVER
- SPEAKER OUTLET BOXES. BLANK COVERS ONLY
- PROGRAM CLOCK WITH BUZZER. SAME AS FURNISHED IN NEW BUILDING
- PROGRAM BELL, 6" SIZE, TO MATCH PROGRAM SYSTEM.
- EXISTING FIRE ALARM. CONNECT TO NEW SYSTEM
- FIRE ALARM CALL STATION, EXISTING. CONNECT TO NEW SYSTEM. CHANGE OUT AS REQUIRED TO OBTAIN ANNUNCIATION IN ADMIN. BLDG.
- DUPLEX CONVENIENCE RECEPTACLE, 15A 120V, SPEC. GRADE, IVORY COLOR, SMOOTH PLASTIC COVER.
- JUNCTION BOXES
- WP PROGRAM BELL, WEATHERPROOF, 10"
- EXISTING RANGE OUTLET. CONNECT AS REQUIRED FOR ART ROOM KILN.
- EXISTING LIGHTING FIXTURE
- RECESSED LIGHTING FIXTURE. INSTALL AT SAME LOCATION AS AN EXISTING FIXTURE.
- EXISTING BRACKET LIGHT
- 2L FLUORESCENT FIXTURE 2 LAMP FOUR FOOT
- 4L FLUORESCENT FIXTURE 4 LAMP FOUR FOOT
- EXISTING WIRING
- WALL OR CEILING WIRING
- UNDERFLOOR OR UNDERGROUND WIRING

FIXTURE SCHEDULE

TYPE	DESCRIPTION
C	FLUORESCENT LIGHTING FIXTURE FOUR FOOT TWO LAMP, MATCH THE EXISTING FIXTURES IN THE NEW BUILDING, ACRYLIC LENS, MINIMUM WIDTH 14"
G	FLUORESCENT LIGHTING FIXTURE FOUR FOOT FOUR LAMP MATCH THE EXISTING FIXTURES IN THE NEW BUILDING ACRYLIC LENS, MINIMUM WIDTH 14"
F	RECESSED INCANDESCENT, FLAT FRESNEL LENS, MATTE WHITE TRIM, 4½" DEEP, 150 W LAMP, PRESCOLITE 1015-6714, MARCO ECJ-150 M26P
J	FLUORESCENT LIGHTING FIXTURE, CORRIDOR UNIT, ONE LAMP, EIGHT FOOT, ACRYLIC WESTINGHOUSE 2C-140A, WAKEFIELD PHR118-TAA.

NOTES:

1. CRAWL HOLE TO ATTIC IN MECH ROOM
2. REMOVE EXISTING CLOCKS, RETURN TO SCHOOL DISTRICT
3. CONNECT NEW CLOCKS AND BUZZERS TO NEW SYSTEM WITH MASTER IN ADMIN.
4. CHANGE FIRE ALARM BREAK GLASS STATIONS TO SAME AS NEW SYSTEM. CHANGE OUT ALARM DEVICE TO SAME AS NEW SYSTEM.
5. ADD EXTERIOR AND CORRIDOR PROGRAM ALARM DEVICE. EXTERIOR TO MOUNT AT EAVES INTERIOR SAME HEIGHT AS EXISTING.
6. LEAVE RANGE RECEPTACLE FOR ART ROOM KILNS.
7. DISCONNECT, REROUTE, REWIRE, REMOVE, REINSTALL ELECTRICAL WIRING, DEVICES AND FIXTURES AS REQUIRED FOR THE NEW CONSTRUCTION.
8. REMOVE HOT WATER BOOSTER AND CONTROLS FROM MECH RM.
9. REMOVE METERS, SERVICE ENTRANCE CONDUITS, WIRING, EXTERIOR BOXES, ROOF JACKS, OF EXISTING MAIN WIRING. REARRANGE AS REQUIRED FOR 120/208 3Ø FOUR WIRE FOR BEST BALANCE WITH EXISTING PANELS. CONNECT NEW SERVICE TO EXISTING PANELS.
10. INSTALL JUNCTION BOXES IN MECH. ROOM 10x10x4 FOR FIRE ALARM, PROGRAM, AND INTERCOM.
11. CONCENTRIC RING FIXTURES AND CORRIDOR FIXTURES, REST ROOM & OTHER REMOVED OR REPLACED FIXTURES & HARDWARE TO BE PROPERTY OF CONTRACTOR
12. PROGRAM, INTER COM, FIRE ALARM WIRING TO BE IN WALLS OR ATTIC SPACE.



EXISTING CLASSROOM BUILDING SCALE 1/8" = 1FT-0"

REGISTERED PROFESSIONAL ENGINEER 2276 L. S. Horton OREGON 1964 & 1981 L. S. HORTON

REGISTERED ARCHITECT JACK A. EDSON MEDFORD, OREGON STATE OF OREGON

ELECTRICAL PLAN · FIXTURE SCHEDULE

EVERGREEN SCHOOL
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT OREGON

LSH
6512

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

E1
OF 1

ROOM FINISH SCHEDULE

MARK	ROOM	FLOOR MAT	FLOOR FIN	BASE MAT	BASE FIN	WALL "A" MAT	WALL "A" FIN	WALL "B" MAT	WALL "B" FIN	WALL "C" MAT	WALL "C" FIN	WALL "D" MAT	WALL "D" FIN	CEILING MAT	CEILING FIN	TRIM MAT	TRIM FIN	REMARKS
F-1	CLASSROOM	EXIST CONC	EXIST	EXIST WOOD	EXIST SGE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	NOTE: (ALL ROOM FINISHES THROUGHOUT BUILDING)
F.2	WORKROOM																	PATCH OR REPAIR ALL ROOM FINISHES OR MATERIALS DISTURBED OR EXPOSED BY
F.3	CLASSROOM																	REMODELING WORK, BUT NOT SPECIFICALLY NOTED ON THE DRAWINGS, TO MATCH
F.4	CLASSROOM																	EXISTING SIMILAR FINISHES OR MATERIALS
F.5	CORRIDOR			▽	▽		▽		▽		▽					▽	▽	
F.6	ART		(ASPHALT TILE)	EXIST WOOD / 4" VINYL TOPSET	EXIST SGE / FACTORY	▽ (WALLBOARD)	EXIST (FACTORY) WALL FABRIC	▽ (WALLBOARD)	EXIST (FACTORY) WALL FABRIC	(WALLBOARD)	EXIST (FACTORY) WALL FABRIC				▽	EXIST WOOD	EXIST SGE	REPAINT EXIST. WINDOW & DOOR FRAMES & CASING (EXT. DOORS ONLY)
F.7	WORK		(ASPHALT TILE)	4" VINYL TOPSET	FACTORY	EXIST (WALLBD) GYPBD & PLYWD	FWP SGE & LAM. PLAS.	EXIST (WALLBD) PLYWOOD	FWP LAM PLAS	EXIST (WALLBD) PLYWOOD	FWP LAM PLAS	EXIST (WALLBD) GYP BD	FWP SGE; WALL FABRIC		FWP	EXIST & NEW WOOD	SGE	REPLACE ALL EXISTING DAMAGED OR OPEN-JOINTED ASPHALT TILE
F.8	SUPPLY			EXIST WOOD / 4" VINYL TOPSET	SGE / FACTORY	EXIST (WALLBD)	SGE	EXIST (WALLBD)	SGE	EXIST (WALLBD)	SGE	EXIST (WALLBOARD)	SGE	EXIST	SGE	▽	▽	
F.9	MECH			EXIST	EXIST		EXIST		EXIST		EXIST		EXIST			EXIST	EXIST	REPAINT EXIST DOOR FRAME & CASING
F.10	GIRLS											▽	▽					NEW PLYWOOD PARTITION & GATES: SGE
F.11	ALCOVE											—	—					▽
F.12	JANITOR											EXIST	EXIST					
F.13	TOILET											▽	▽					
F.14	ALCOVE											—	—					
F.15	BOYS											EXIST	EXIST					NEW PLYWOOD PARTITION & GATES: SGE
F.16	CLASSROOM	▽	▽	▽	▽	▽	▽	▽	▽	▽	▽	▽	▽	▽	▽	▽	▽	▽

DOOR SCHEDULE

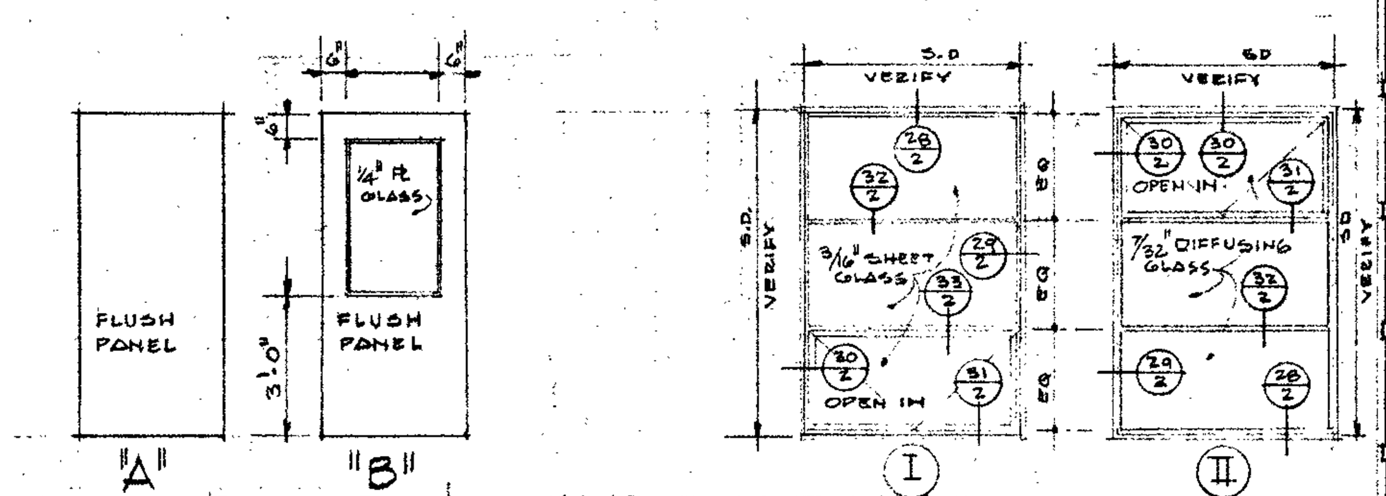
MARK	SIZE	DOOR MAT	DOOR TYPE	FRAME MAT	FRAME TYPE	FINISH	REMARKS
1.	3'-0" x 6'-8" x 1 3/4"	SCW	B	WOOD	EXISTING	SGE ON DOORS, FRAME & INTERIOR CASING; STAIN EXTERIOR CASING	FIT DOOR TO EXISTING FRAME NEW CASING EXTERIOR ONLY
2							
3							
4	▽	▽	▽	▽	▽		▽
5	UNASSIGNED						
6	2'-8" x 6'-8" x 1 3/4"	SCW	A	WOOD	MATCH EXISTING	AS FOR MARK 1-4	
7	2'-10" x 6'-8" x 1 3/4"	SCW	B	WOOD	MATCH EXIST INTERIOR (3/4" STOP)	DOOR S&V FRAME SGE	MATCH EXISTING CASING (3/4"x3 1/2")

EXTERIOR FINISH NOTES:

1. RESAWN PLYWOOD - STAIN
2. 1"x6" SIDING - STAIN
3. EXTERIOR WOOD TRIM - STAIN
4. EXPOSED METAL (INCLUDING ALL EXISTING GUTTERS, DOWNSPOUTS, ROOF EDGE FLASHING, LOUVERS) + ALL NEW WORK: PAINT
5. ALL EXTERIOR DOORS - PAINT

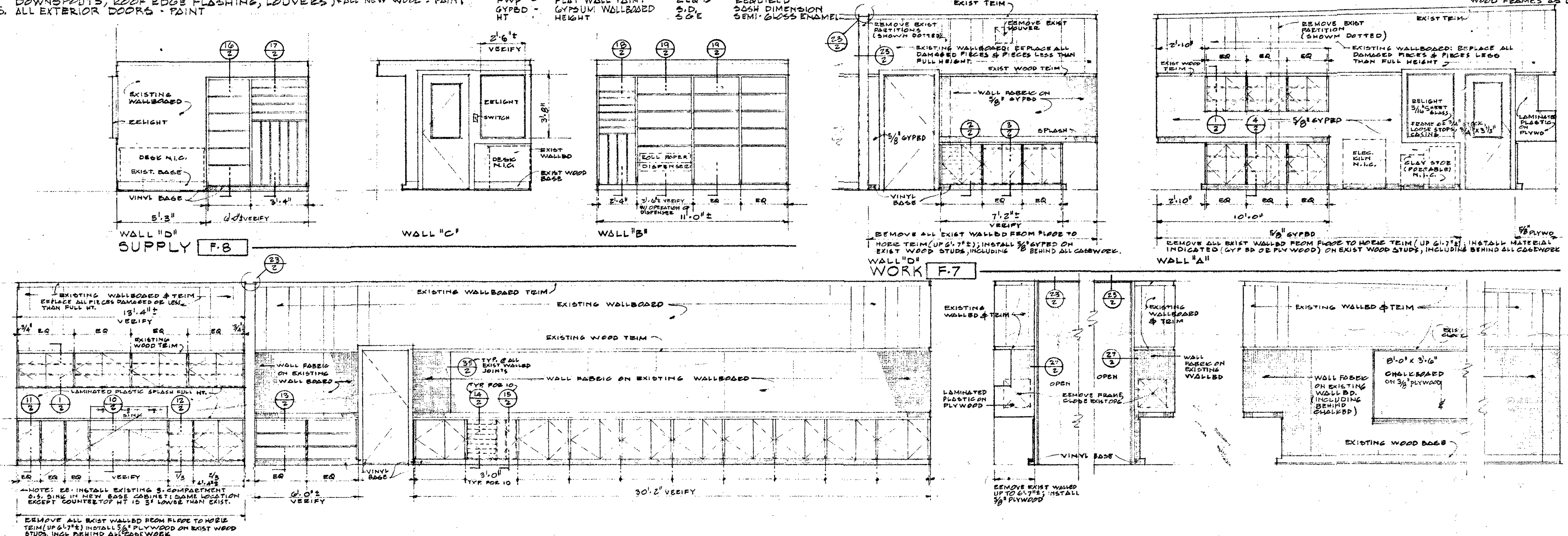
ABBREVIATIONS

BLDG -	BUILDING
CONC. -	CONCRETE
EXIST -	EXISTING
EXT -	EXTERIOR
FWP -	FLAT WALL PAINT
GYPBD -	GYPSUM WALLBOARD
HT -	HEIGHT
LAM PLAS	LAMINATED PLASTIC
N.I.C.	NOT IN CONTRACT
O.C.	ON CENTERS
OPG.	OPENING
REQ'D	REQUIRED
S.D.	SASH DIMENSION
SGE	SEMI-GLOSS ENAMEL
S.S.	STAINLESS STEEL
WDO	WINDOW
@	AT
PL	PLATE
∠	ANGLE



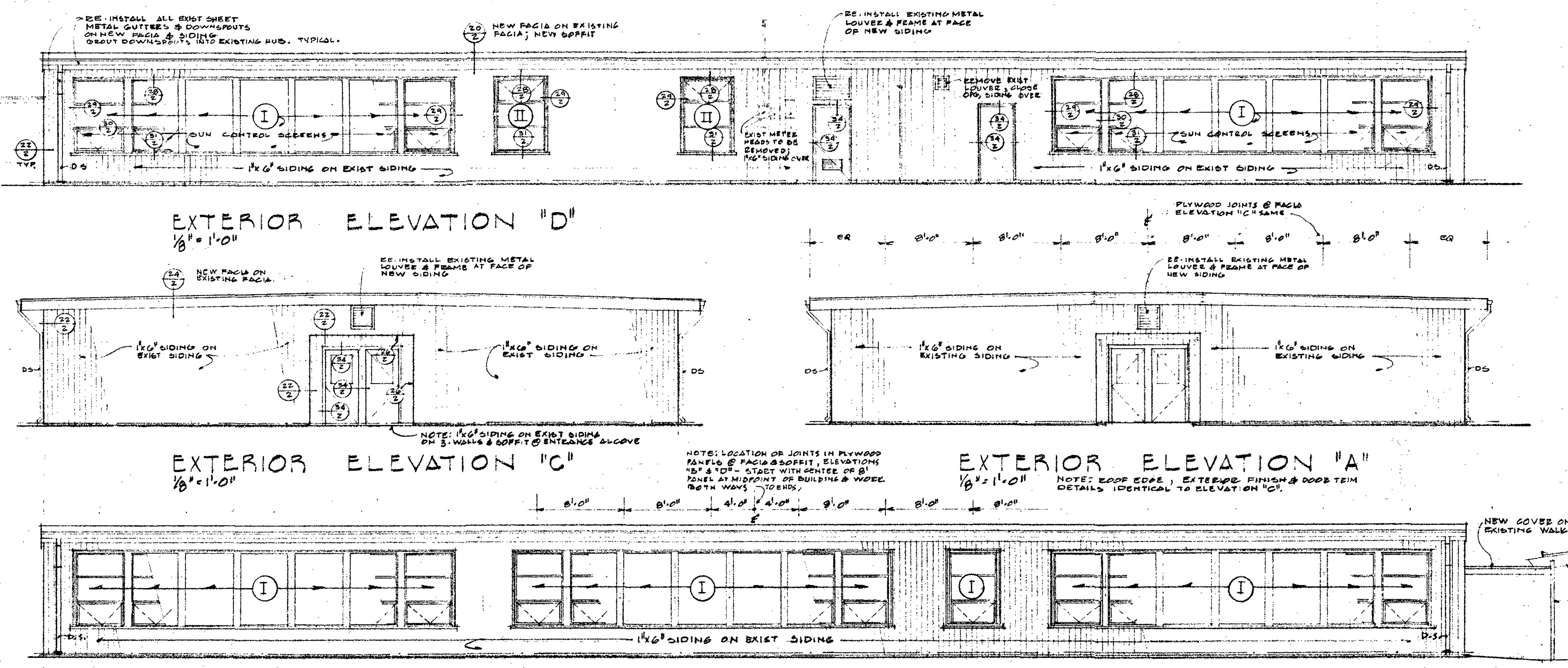
DOOR & WINDOW TYPES

NOTE: (WINDOW TYPES) VERIFY SASH DIMENSION FOR EACH INDIVIDUAL WINDOW. REMOVE ALL EXISTING GLAZING & OPERABLE SASH. REMOVE ALL EXISTING WOOD MUNTINS AS DETAILED. SET NEW SASH W/ NEW STOPS & TRIM IN EXISTING WOOD FRAMES AS DETAILED.



WALL "D" SUPPLY F-8 — WALL "C" — WALL "B" — WORK F-7 — WALL "A"

WALL "B" WORK F-7 & ART F-6 — WALL "C" WORK F-7 — WALL "A" ART F-6 — WALL "D"



EXTERIOR ELEVATION "D" 1/8"=1'-0"

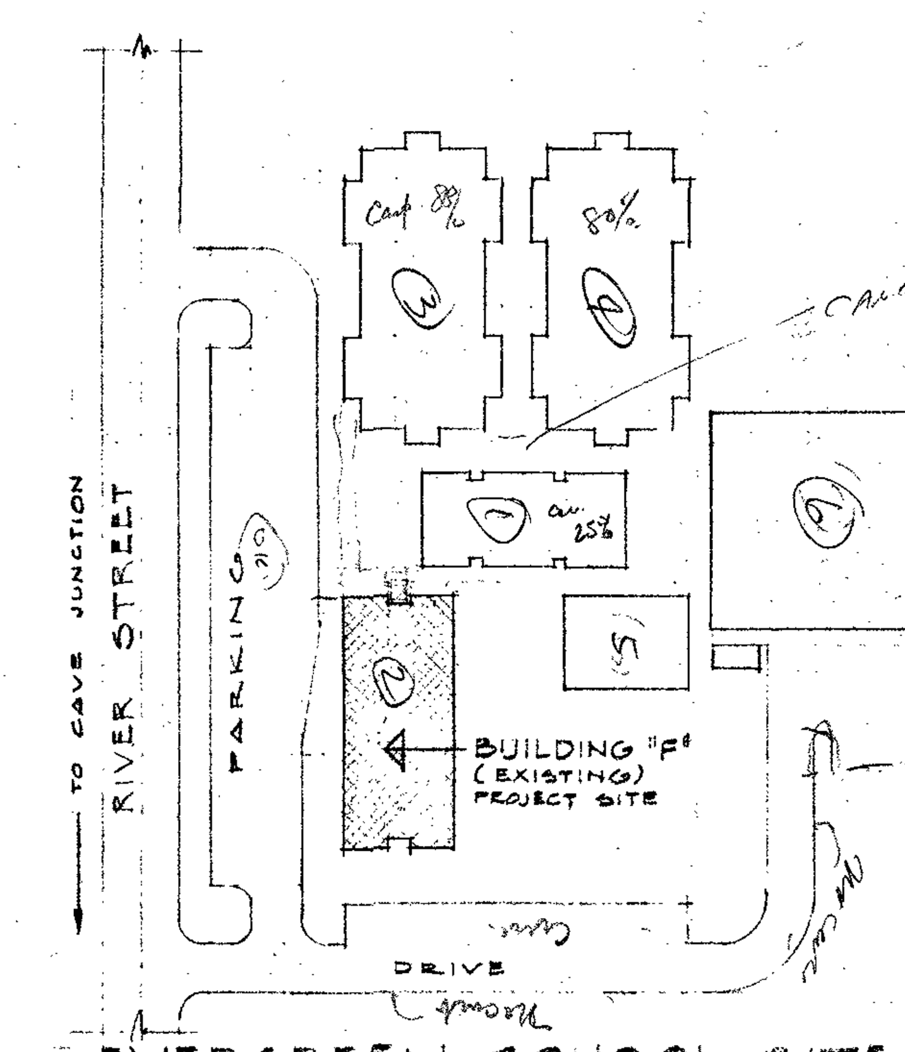
EXTERIOR ELEVATION "C" 1/8"=1'-0"

EXTERIOR ELEVATION "A" 1/8"=1'-0"

NOTE: ROOF EDGE; EXTERIOR FINISH & DOOR TRIM DETAILS IDENTICAL TO ELEVATION "C".

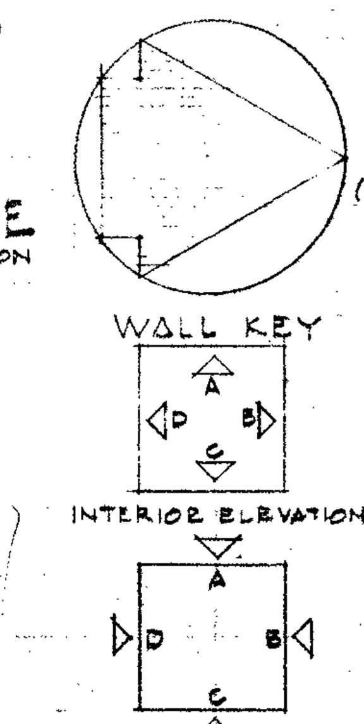
EXTERIOR ELEVATION "B" 1/8"=1'-0"

ROOF EDGE; EXTERIOR FINISH & WINDOW TRIM DETAILS IDENTICAL TO ELEVATION "D".



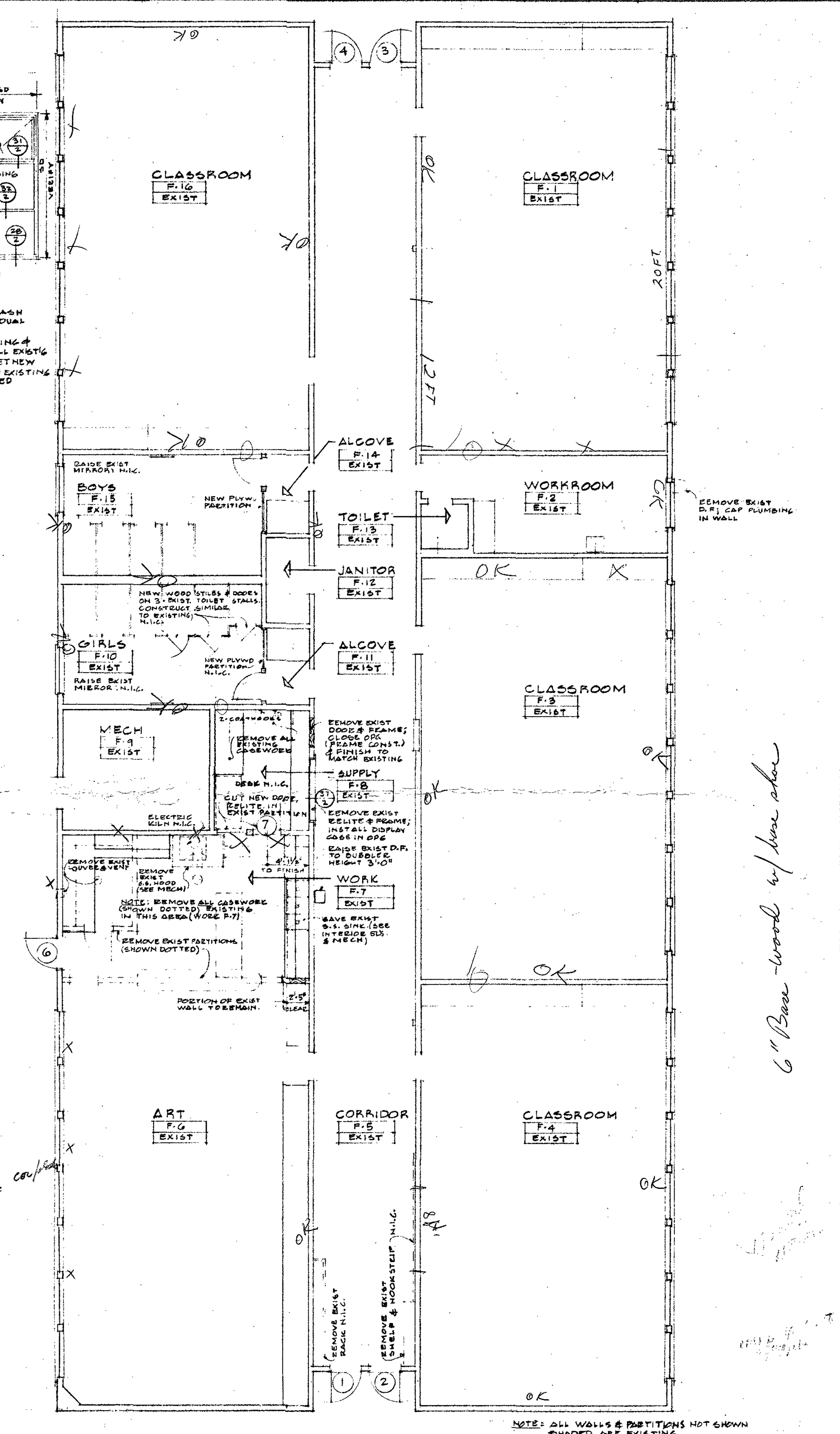
EVERGREEN SCHOOL SITE

LOCATED APPROXIMATELY 1/4 MILE WEST OF CAVE JUNCTION 1"=100'



NORTH (SITE & BLDG PLANS)

WALL KEY — INTERIOR ELEVATIONS — EXTERIOR ELEVATIONS



NOTE: ALL WALLS & PARTITIONS NOT SHOWN SHADED ARE EXISTING

FLOOR PLAN 1/8"=1'-0"

INDEX TO DRAWINGS

1	BLDG "F" PLAN, SCHEDULES, ELEV'S
2	CASEWORK & DETAILS
M-1	
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BLDG "F" PLAN, SCHEDULES, ELEV'S.

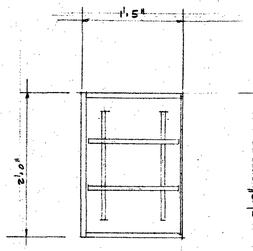
EVERGREEN SCHOOL · REMODEL ORIGINAL BUILD'G

JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

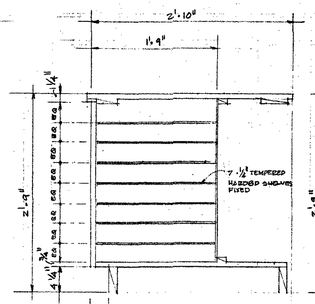
RRK
JAE

JACK A EDSON AIA
ARCHITECTURE & PLANNING
128 EAST MAIN STREET MEDFORD, OREGON

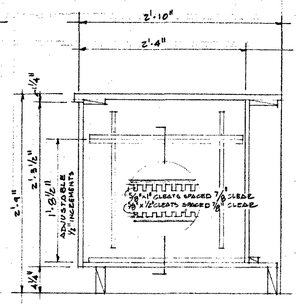
1



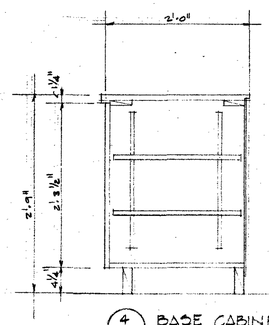
1/2 UPPER CABINET
1"=1'-0"



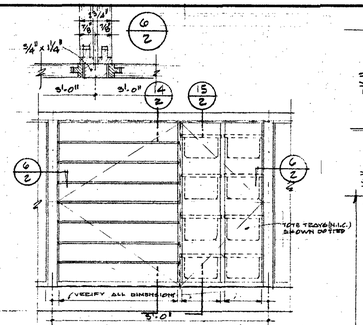
1/2 PAPER STOR.
1"=1'-0"



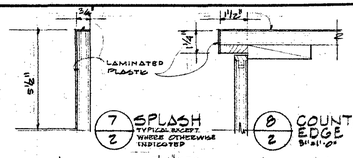
1/2 DRAWING BD. STOR.
1"=1'-0"



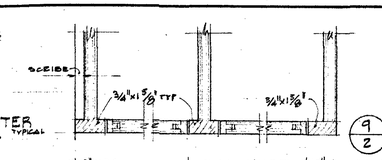
1/2 BASE CABINET
1"=1'-0"



1/2 PROJECT STOR & TOTE TRAYS (ELEVATION)
1"=1'-0"

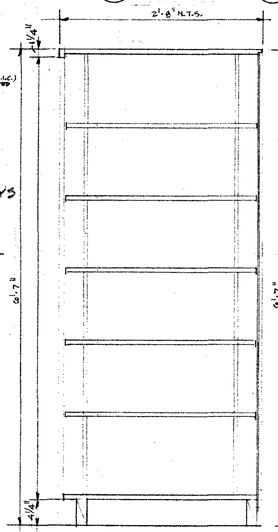


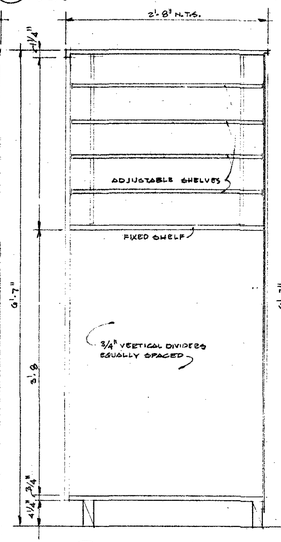
7/2 SPLASH
TYPICAL EXCEPT WHERE OTHERWISE INDICATED

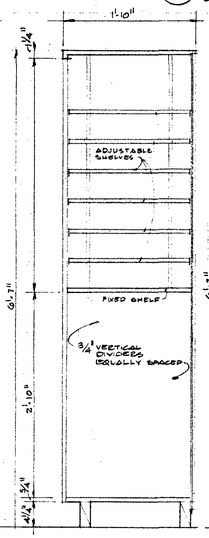


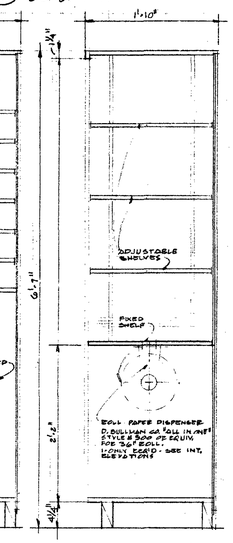
8/2 COUNTER EDGE
TYPICAL

9/2 JAMBS & SUPPORT
TYPICAL EXCEPT WHERE OTHERWISE INDICATED
3"=1'-0"







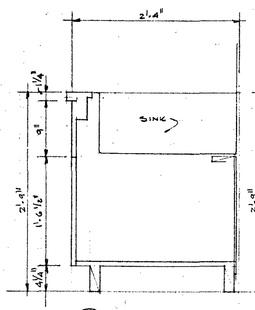


16/2 GENERAL STOR
1"=1'-0"

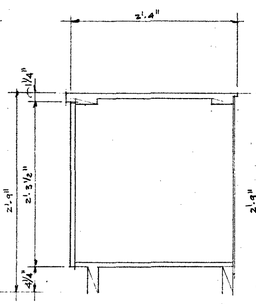
17/2 MAT'BD & PAPER
1"=1'-0"

18/2 MAT'BD & PAPER
1"=1'-0"

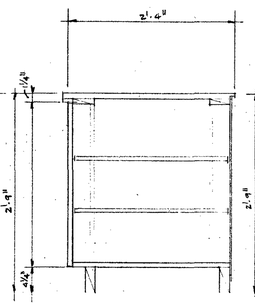
19/2 PAPER & GENERAL
1"=1'-0"



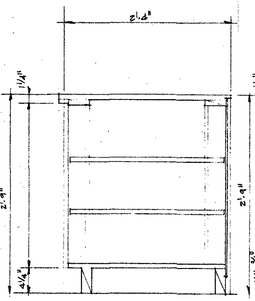
10/2 SINK CABINET
1"=1'-0"



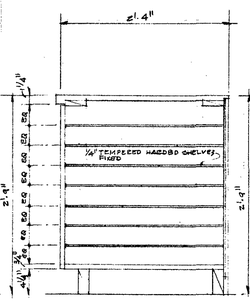
11/2 BULK STOR.
1"=1'-0"



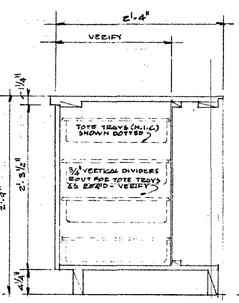
12/2 BASE CAB'T
1"=1'-0"



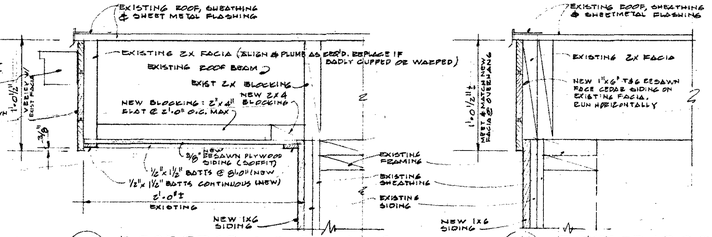
13/2 BASE CAB'T
1"=1'-0"



14/2 PROJECT STOR
1"=1'-0"



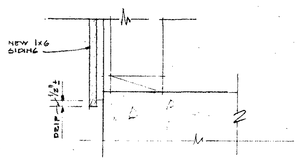
15/2 TOTE TRAYS
1"=1'-0"



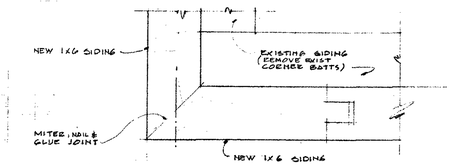
20/2 ROOF EDGE @ OVERHANG
1 1/2" = 1'-0"

24/2 ROOF EDGE @ END WALLS
1 1/2" = 1'-0"

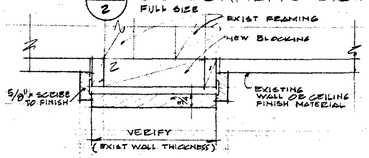
21/2 DELETED



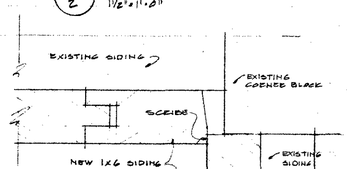
25/2 DRIP @ SIDING
1 1/2" = 1'-0"



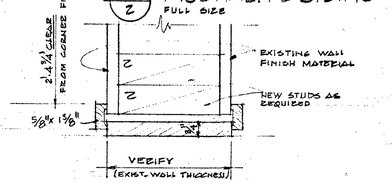
22/2 OUTCORNER @ SIDING
FULL SIZE



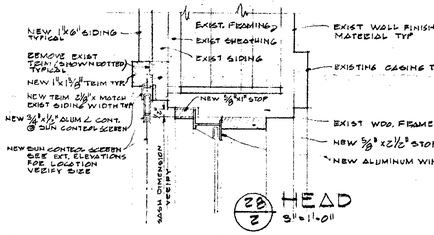
23/2 TRIM @ REMOVED PARTITION
3"=1'-0"



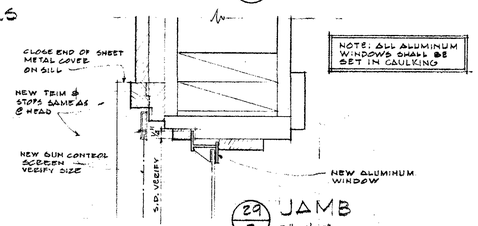
26/2 INCORNER @ SIDING
FULL SIZE



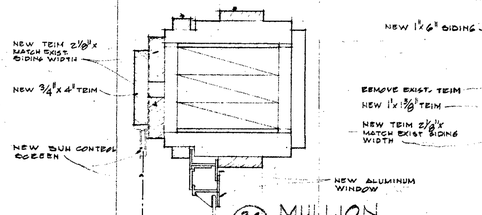
27/2 TRIM @ WING WALL
3"=1'-0"



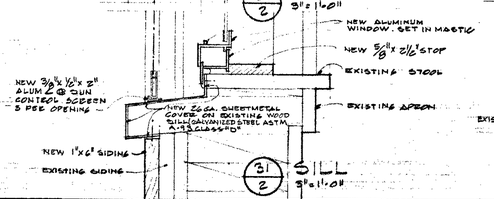
28/2 HEAD
3"=1'-0"



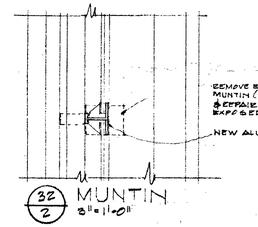
29/2 JAMB
3"=1'-0"



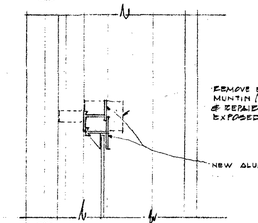
30/2 MULLION
3"=1'-0"



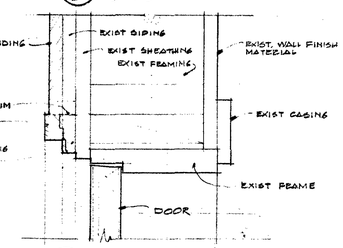
31/2 SILL
3"=1'-0"



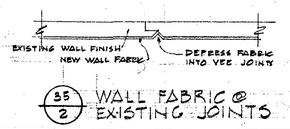
32/2 MUNTIN
3"=1'-0"



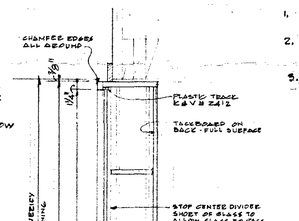
33/2 MUNTIN
3"=1'-0"



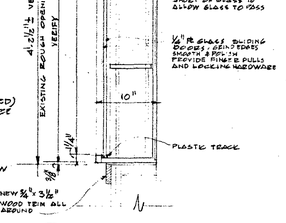
34/2 JAMB: HEAD SIM.
3"=1'-0"



35/2 WALL FABRIC @ EXISTING JOINTS



36/2 DISPLAY CASE
1"=1'-0"



37/2 ELEV. @ DISPLAY CASE (IN CORRIDOR)
1/2"=1'-0"

GENERAL NOTES: CASEWORK

1. ALL SHELVING SHALL BE ADJUSTABLE UNLESS OTHERWISE NOTED
2. ALL COUNTERTOPS, SIDE & BACKSPLASHES & SPLASH EDGES SHALL BE FINISHED W/ LAMINATED PLASTIC UNLESS OTHERWISE SPECIFIED
3. ALL CASES INSTALLED AGAINST WALL SHALL HAVE TYPICAL SIDE & BACKSPLASHES AT ADJACENT WALLS UNLESS OTHERWISE INDICATED.

CASEWORK & DETAILS

EVERGREEN SCHOOL - REMODEL ORIGINAL BUILDG
JOSEPHINE COUNTY UNIT SCHOOL DISTRICT, OREGON

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